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Te Tuhi Precinct Plan

Whakaroa Road
Taupō

August 2023

OVERALL PRECINCT PLAN



LEGEND:

- HOUSE SITE - RED
- HOUSE SITE - ORANGE
- HOUSE SITE - GREEN
- RIGHT OF WAY/ROADWAY
- HORSE TRAIL
- LODGE BUILDING SITES (REFER TOA PLANS)
- EQUESTRIAN CENTRE/GRAZING (REFER ASSEMBLE PLANS)
- PASTURE
- WASTEWATER DISPOSAL LOCATION
- NATIVE BUSH *

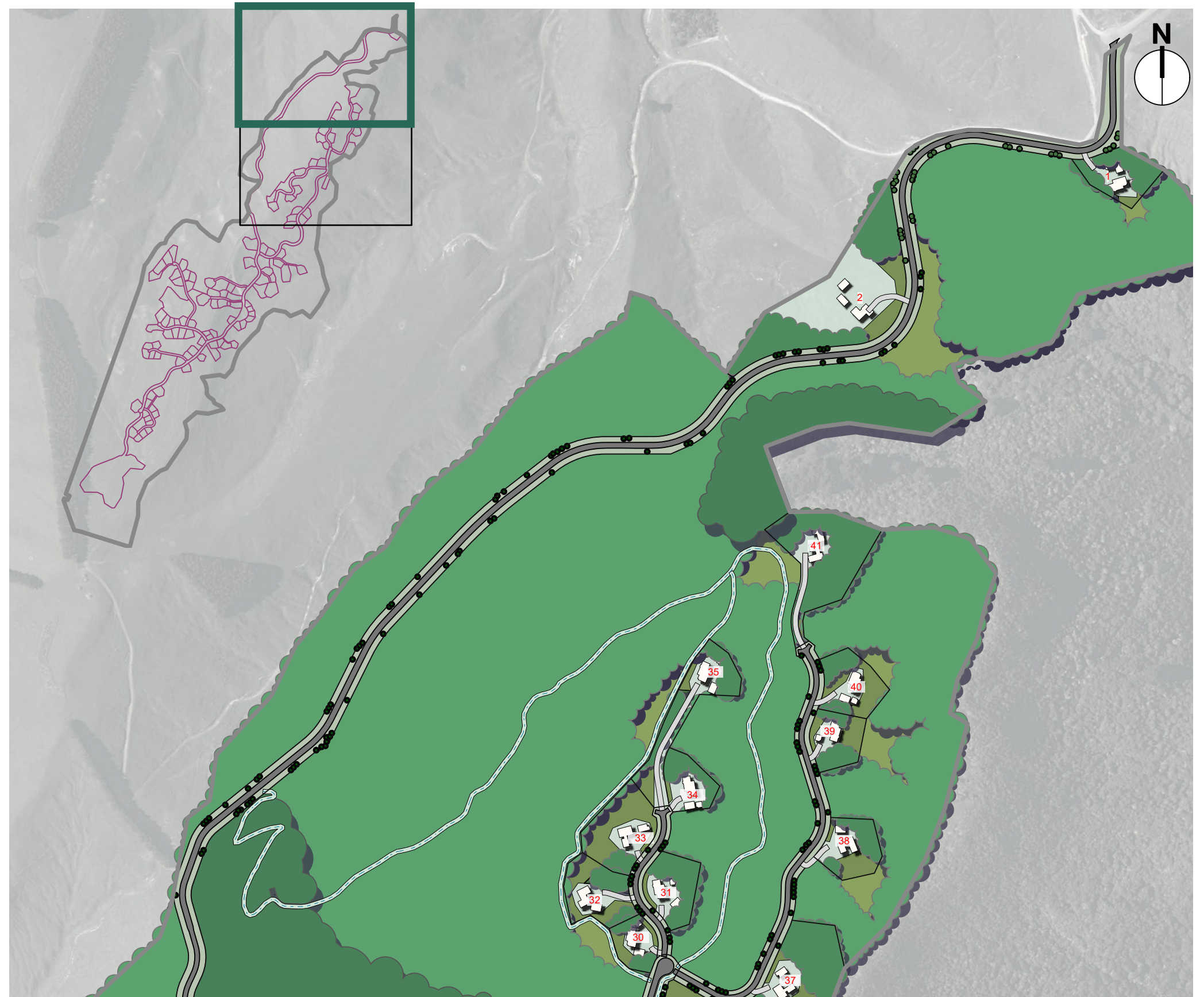
* SEE MITIGATION & RESTORATION PLANTING PLAN FOR DETAIL REQUIREMENTS

| Tourism Lodge Sub-Area | Equestrian Centre Sub-Area | Lifestyle Cluster Sub-Area | Native Bush Sub-Area |
|--|---|---|---|
| <p>The Tourism Lodge Sub-Area occupies a dramatic position overlooking Te Tuhi Point, with panoramic views across Lake Taupō to the Kaimanawa Range and the Volcanic Plateau.</p> <p>Building mass, form, materials and fenestration integrate with and celebrate the location and landform and reference the site’s volcanic origins and cultural history. An integrated landscape and building design approach that enhances the characteristics and values of the outstanding natural landscape and the amenity of surrounding landscapes.</p> <p>The Tourism Lodge Sub-Area features a tourism lodge with guest rooms, restaurant, café, bar, wellness centre and wedding chapel, plus separate visitor accommodation chalets.</p> <p>Each building applies the Te Tuhi Precinct Building Location, Architectural Design and Materiality Requirements to contribute to overall character and identity.</p> | <p>The Equestrian Centre Sub-Area is visually secluded from beyond the Te Tuhi Precinct but its central location makes it highly accessible to residents and visitors.</p> <p>The Equestrian Centre Sub-Area accommodates horse-grazing pasture, dressage and showjumping arenas, vehicle parking and the built development of the equestrian stables, staff accommodation and storage sheds.</p> <p>Each building applies the Te Tuhi Precinct Building Location, Architectural Design and Materiality Requirements to contribute to overall character and identity.</p> | <p>Clusters of rural lifestyle development surrounded by the Native Bush Sub-Area, where buildings read as subservient to the landform and the vegetated landscape when viewed from beyond the Te Tuhi Precinct.</p> <p>Each site is identified as Red – higher visibility from beyond the Te Tuhi Precinct, Orange – moderate visibility or Green – lower visibility – and managed accordingly.</p> <p>Each residential unit applies the Te Tuhi Precinct Building Location, Architectural Design and Materiality Requirements to contribute to overall character and identity. Each allotment features protected areas of planting that mitigate any residual effects of built development.</p> | <p>A restored indigenous forest landscape with high indigenous biodiversity, connecting to, extending and enhancing the neighbouring forest reserves, and accommodating roads, recreational trails and the wastewater treatment facility.</p> |

Building Location, Architectural Design and Materiality Requirements

| Sub-Area | Location of Buildings | Maximum Building Ground Floor Area | Maximum Number of Dwellings | Number of Minor Residential Units | Maximum height of all buildings and structures (m) | Maximum Artificial Light | Light Reflectance Value |
|--------------------------------|---|---|-----------------------------|-----------------------------------|--|---|---|
| Lifestyle Cluster Red Sites | All buildings must be within building platforms identified on the Subdivision Scheme Plan | Maximum 350m ² Maximum for any one building – 250m ² | 1 | 0 | 5 | <ul style="list-style-type: none"> • 8 lumens m⁻² at the boundary • Upward light ratio of less than 3% • Must have a warm colour temperature of less than 3000 Kelvin | <ul style="list-style-type: none"> • Roofs: 5 - 13% • Exterior walls: 5 - 23% • Exterior trim: 5 - 46% • Fences: 5 – 23% • Glazing: light transfer of 95% or greater |
| Lifestyle Cluster Orange Sites | | Maximum 400m ² Maximum for any one building – 250m ² | 1 | 0 | 5 | | |
| Lifestyle Cluster Green Sites | | Maximum 450m ² Maximum for any one building – 250m ² | 1 | 0 | 8 | | |
| Tourism Lodge | | Determined by approved building platform | 0 | 0 | 12 | | |
| Equestrian Centre | | Determined by approved building platform | 3 | 0 | 8 | | |
| Native Bush | | Determined by approved building platform | 0 | 0 | 5 | | |

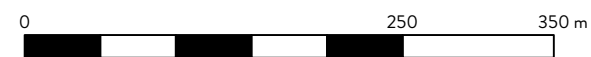
MITIGATION AND RESTORATION PLANTING PLAN 1A



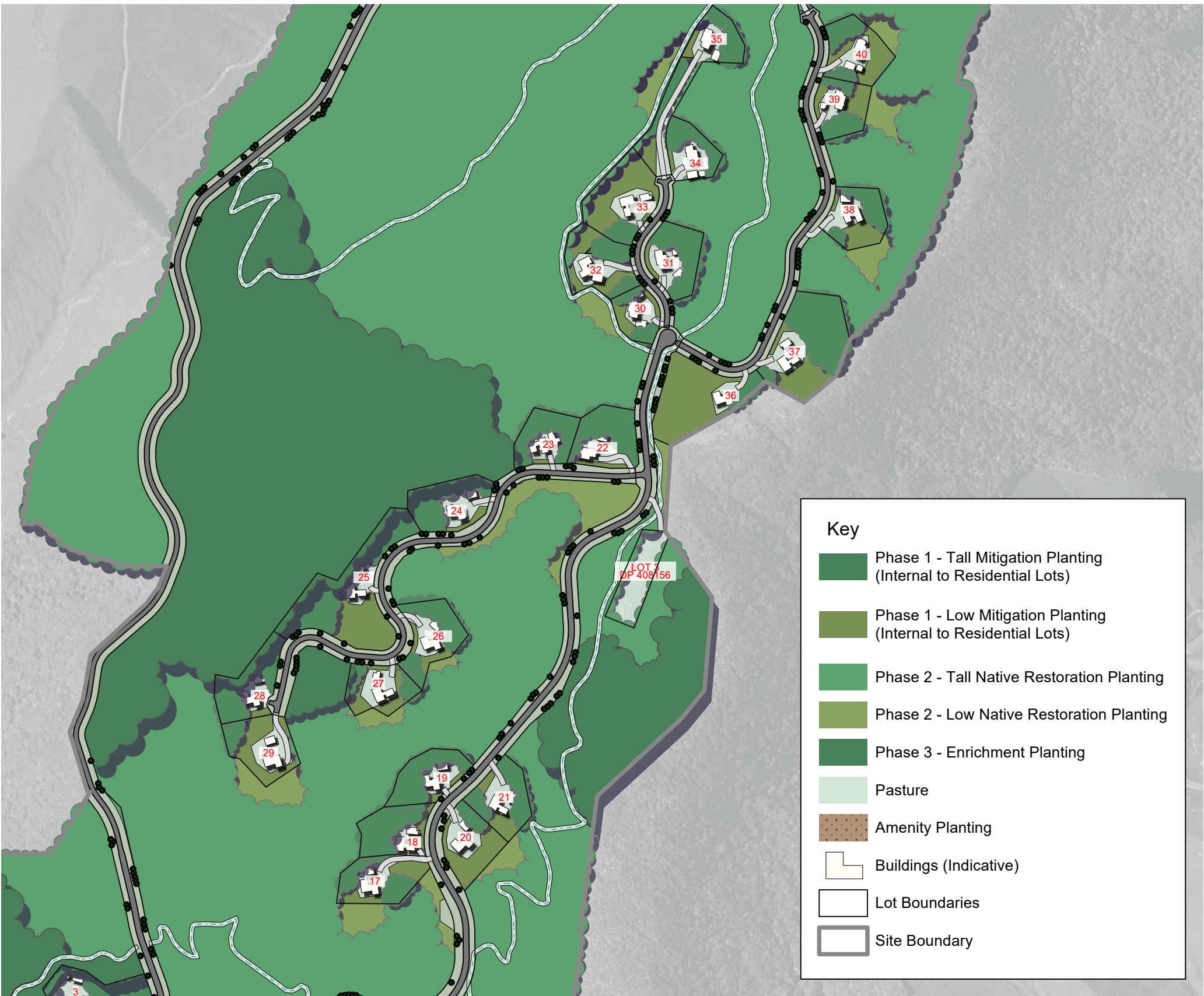
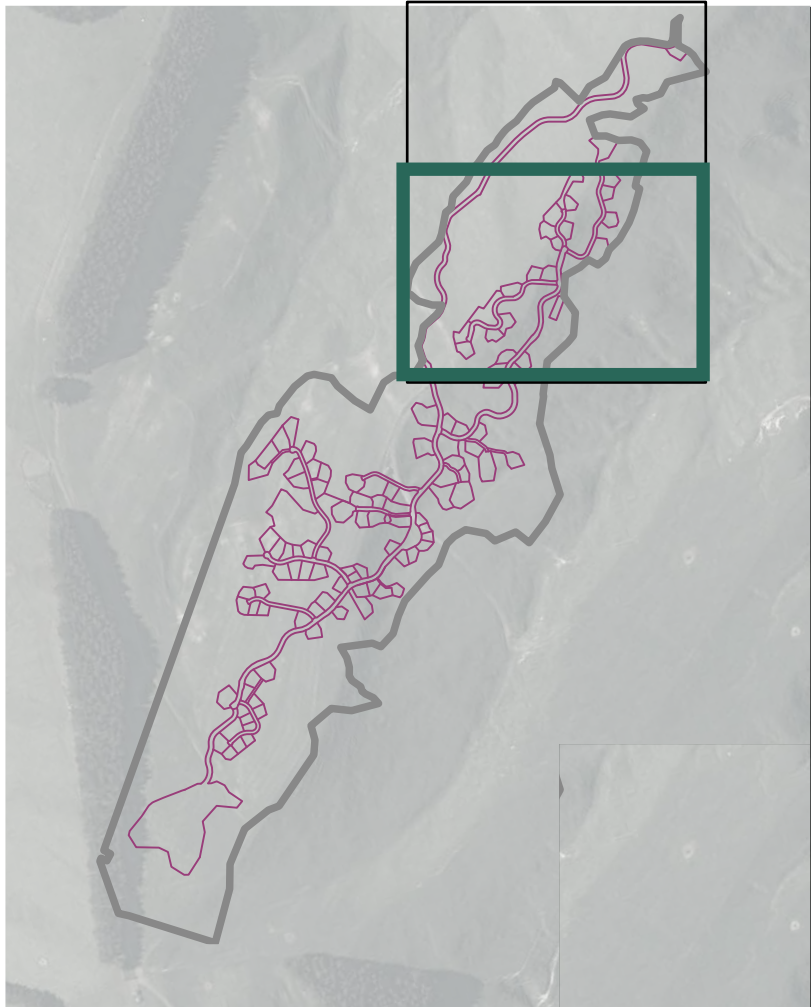
Key

- Phase 1 - Tall Mitigation Planting (Internal to Residential Lots)
- Phase 1 - Low Mitigation Planting (Internal to Residential Lots)
- Phase 2 - Tall Native Restoration Planting
- Phase 2 - Low Native Restoration Planting
- Phase 3 - Enrichment Planting
- Pasture
- Amenity Planting
- Buildings (Indicative)
- Lot Boundaries
- Site Boundary

Detail Plan 1A
Scale: 1:5000



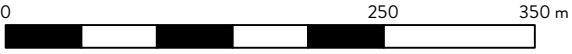
MITIGATION AND RESTORATION PLANTING PLAN 1B



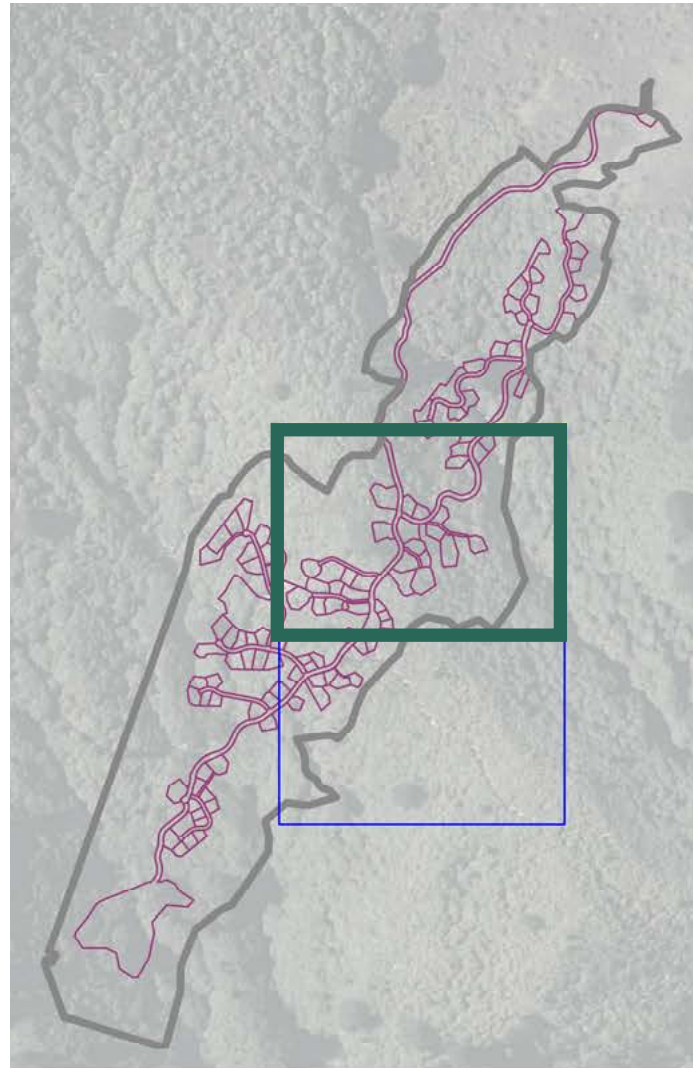
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- Phase 3 - Enrichment Planting
- Pasture
- Amenity Planting
- Buildings (Indicative)
- Lot Boundaries
- Site Boundary

Detail Plan 1B
Scale: 1:5000



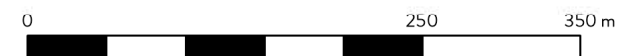
MITIGATION AND RESTORATION PLANTING PLAN 2A



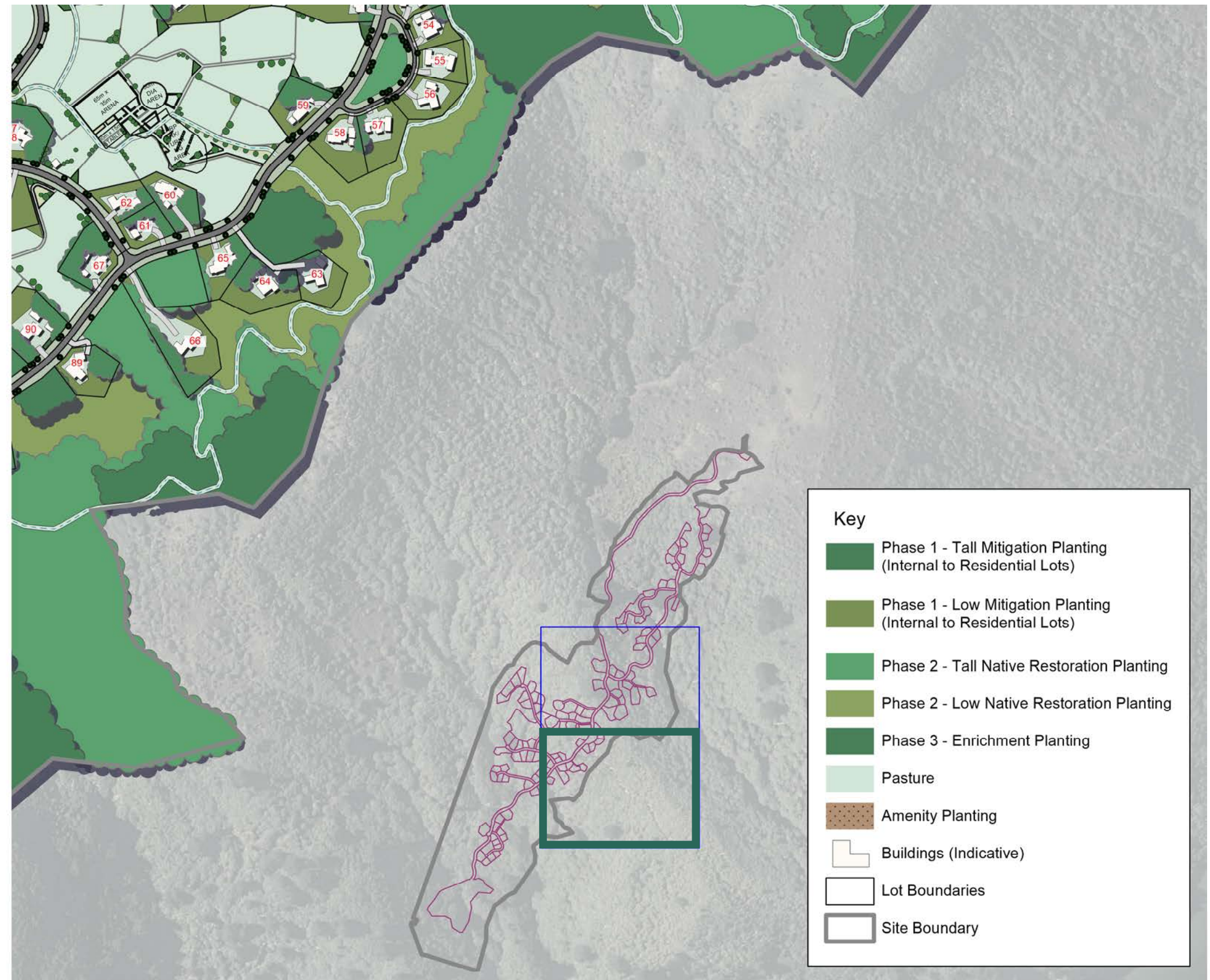
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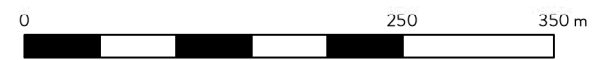
Detail Plan 2A
Scale: 1:5000



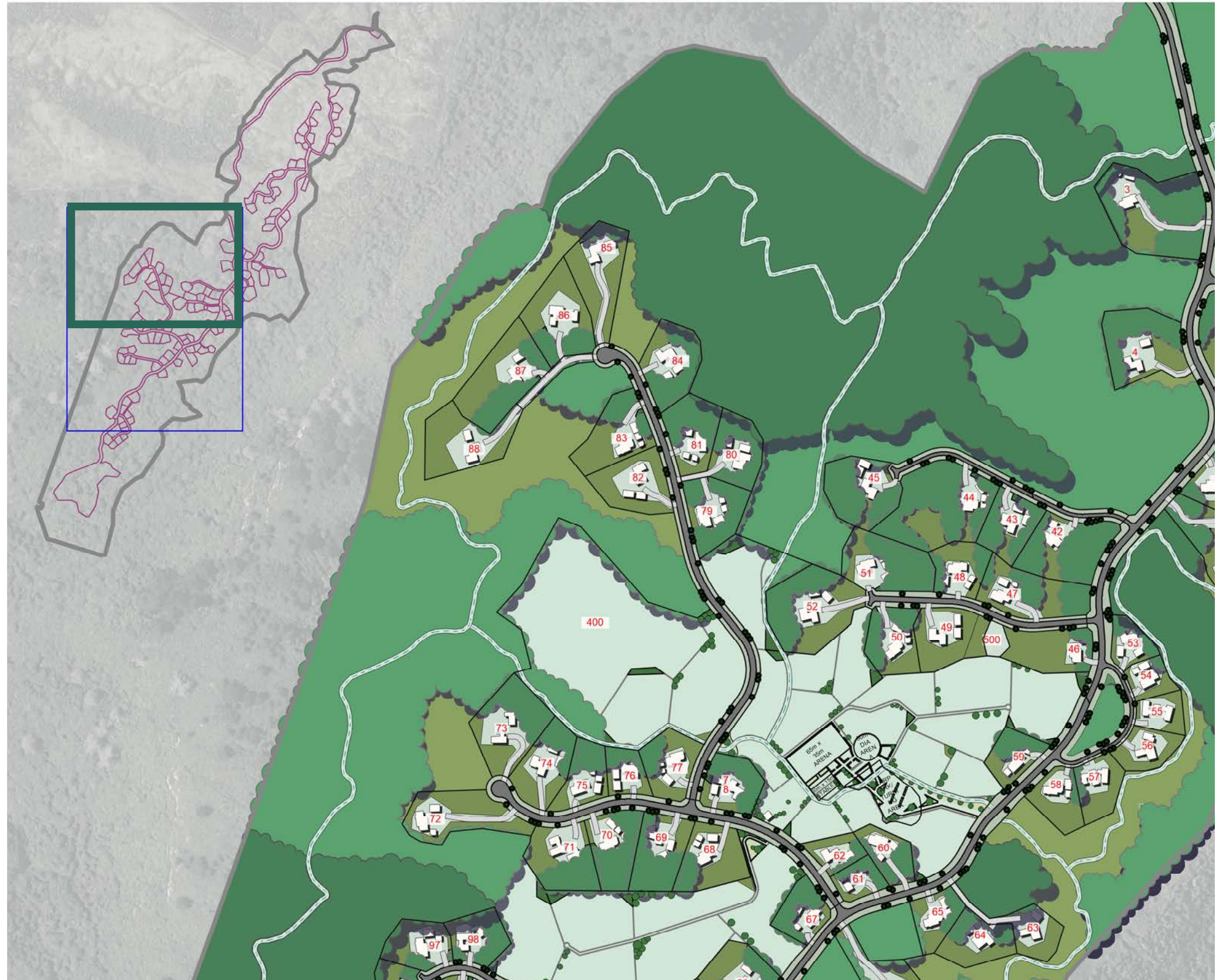
MITIGATION AND RESTORATION PLANTING PLAN 2B



Detail Plan 2B
Scale: 1:5000



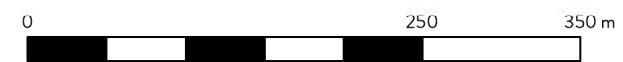
MITIGATION AND RESTORATION PLANTING PLAN 3A



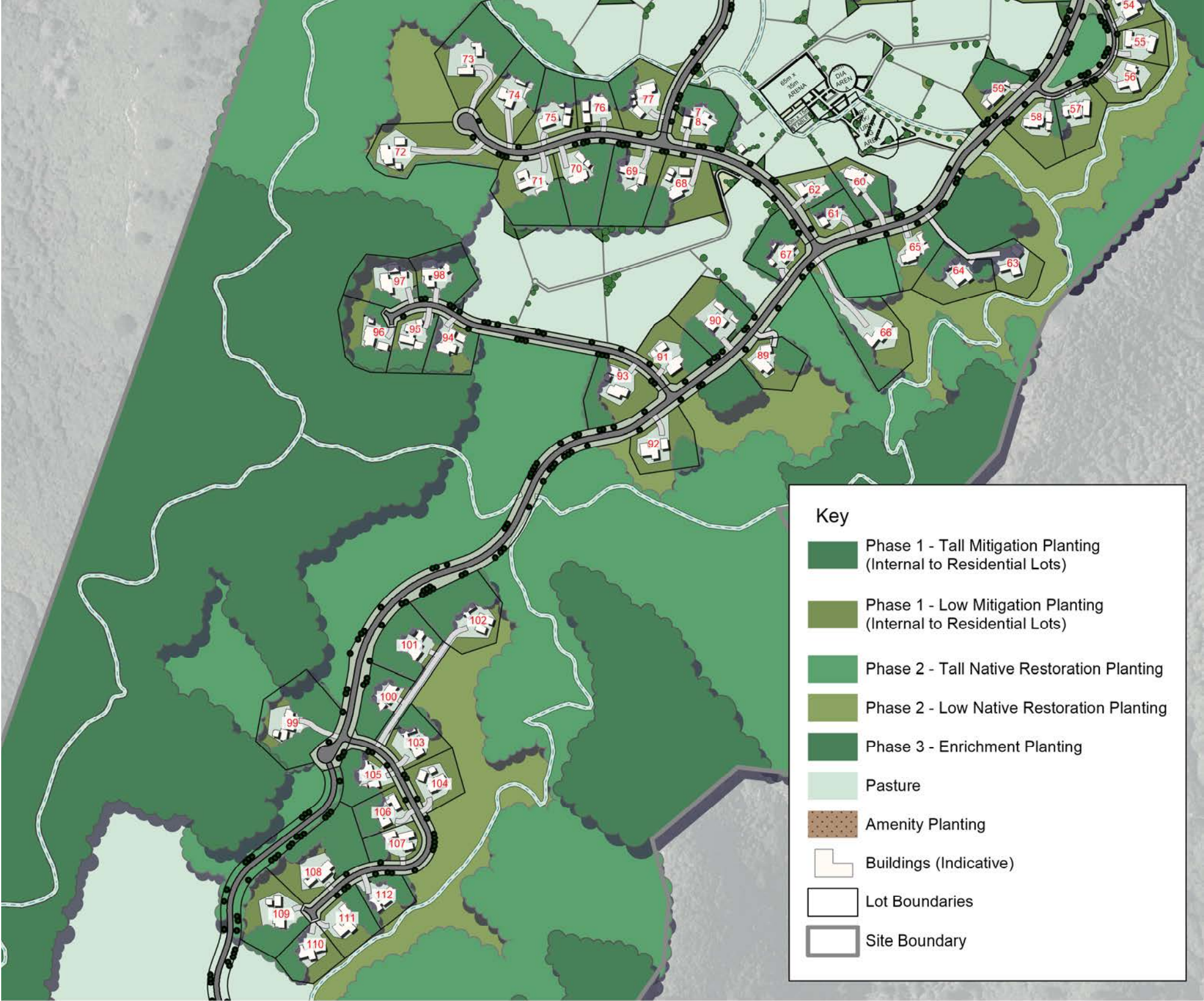
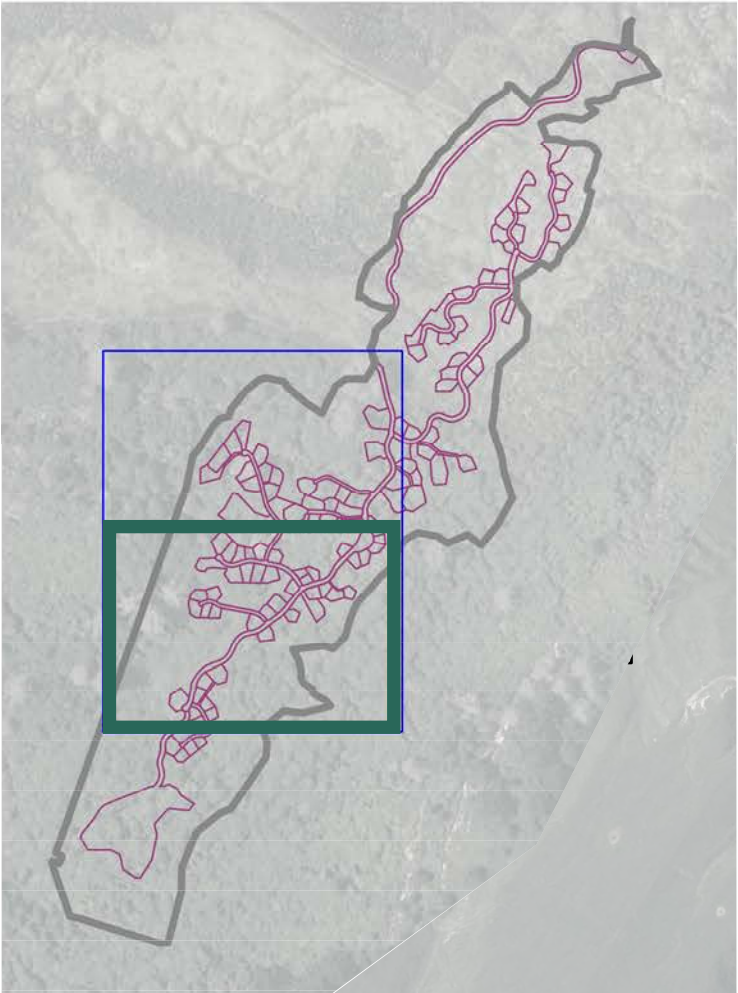
Key

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- Pasture
- Amenity Planting
- Buildings (Indicative)
- Lot Boundaries
- Site Boundary

Detail Plan 3A
Scale: 1:5000



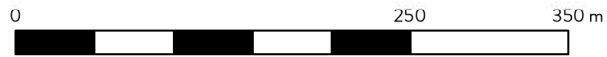
MITIGATION AND RESTORATION PLANTING PLAN 3B



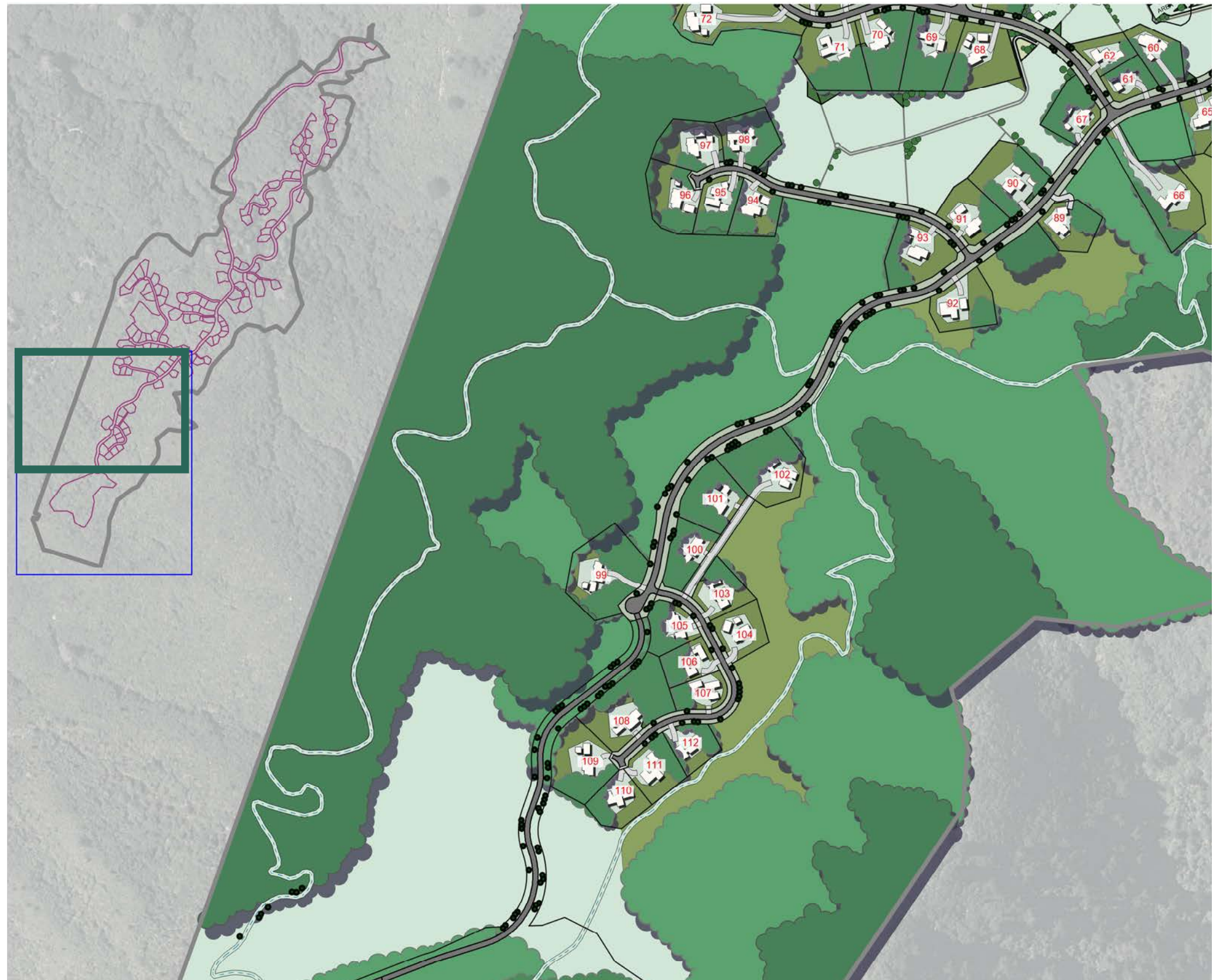
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Detail Plan 3B
Scale: 1:5000



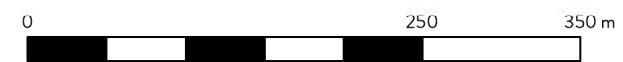
MITIGATION AND RESTORATION PLANTING PLAN 4A



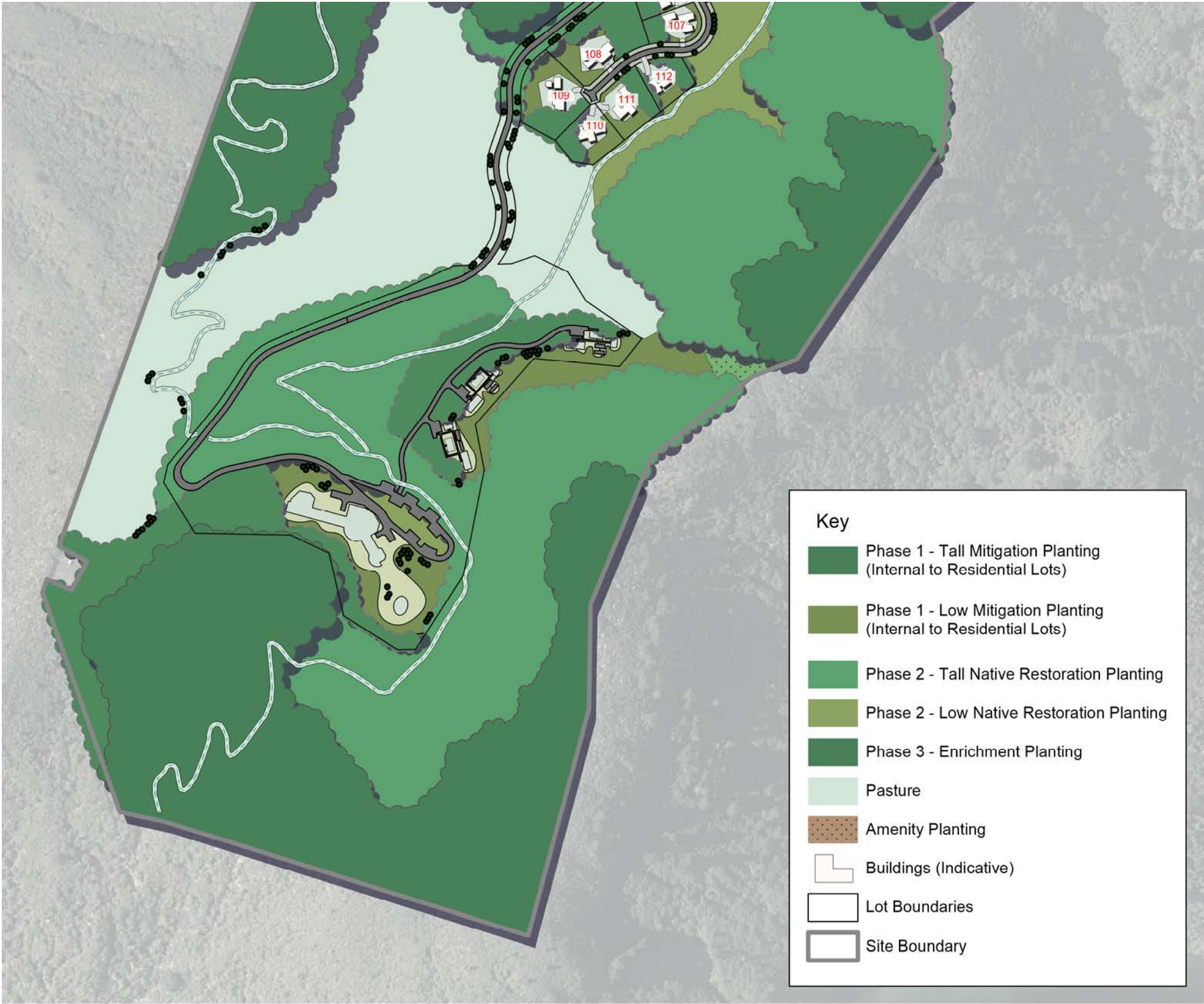
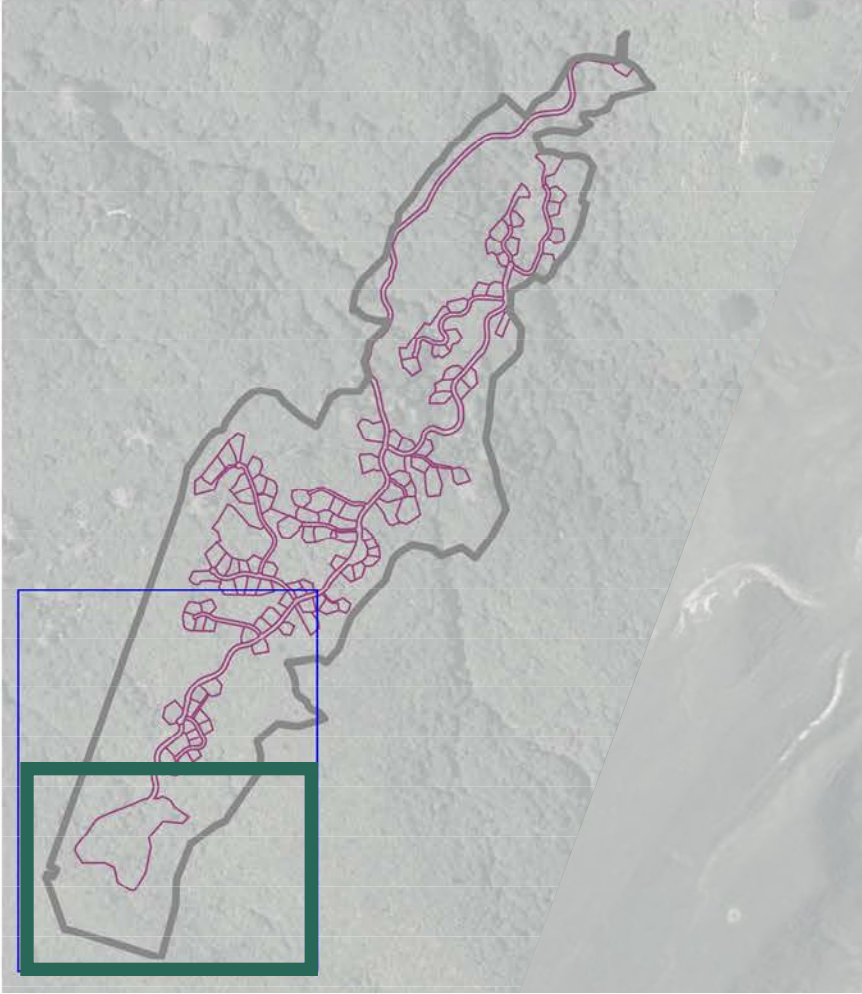
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- Pasture
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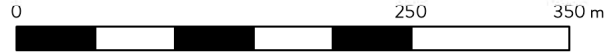
Detail Plan 4A
Scale: 1:5000



MITIGATION AND RESTORATION PLANTING PLAN 4B



Detail Plan 4B
Scale: 1:5000



Te Tuhi Equestrian Centre

Design Statement



Te Tuhi Equestrian Centre Design Statement:

The stables and equestrian grounds are situated in a low land position roughly in the centre of the site and are centered within the grazing fields resulting in a low visual impact from the road. It is surrounded by several housing allotments as well as grazing fields which will be occupied by the equestrian club horses. There are also a series of horse trials throughout the site which are integrated into the equestrian centre grounds and run past the car park, stables and large arena.

The equestrian grounds feature two arenas, a larger 65m x 35m main arena and a 30m Ø smaller round arena. These two elements along with the carpark and stables form the perimeter of the immediate grounds and provide shelter to several smaller grazing yards, viewing areas, wash bays, and tie up areas between them.

To service the stables and grounds, there are two 3-bedroom dwellings which are to house staff and/or grounds workers and are located to the west of the stables. The houses have their own vehicle crossing as well as immediate access to the grounds and stable building.

The Te Tuhi Estate Covenants and Design Guide does not apply to the Equestrian Centre as it has been written specifically for the dwelling allotments however the development is consistent with the overall project objectives and aims to align with most of the design guidelines where appropriate.

The Equestrian Centre is marked as a 'green site' and complies with the 8m maximum height plane. The building platforms are located on natural flat spots to reduce earthworks on site and the ancillary buildings are spread across the grounds in such a way that they read as separate building forms. They are however clad and designed with similar materials and roof shapes which provides a consistent aesthetic and architectural language. The roof forms are gabled and mono-pitched and the façade materials have been intentionally limited to allow the pop out roof forms large barn door openings to create visual interest. The cladding is predominantly vertical timber with timber shutters with a dark metal roof, in keeping with the estate design guidelines. All the fencing for the grounds are post and rail fences in a natural finish at a height of 1.5m or 1.8m around the small arena.

Te Tuhi Equestrian Centre

SITE IDENTIFICATION

LOT : LOT 1 DP 378264
 ADDRESS : 287 WHAKARUA ROAD, KINLOCH
 SITE AREA : 1024510m² (344 HECTARES)
 EQ ZONE : ZONE 2
 EXPOSURE : ZONE B
 CLIMATE : ZONE 4
 WIND REG : A
 WINDZONE : VERY HIGH TO EXTRA HIGH
 RAINFALL : 70 - 80

SITE KEY

SL 9000 SLAB/STRUCTURAL SUBSTRATE LEVEL
 RL 9000 SPOT LEVEL

RESOURCE CONSENT NOTES

- SITE IS IN A RURAL ENVIRONMENT ZONE AREA
- SITE HAS AN OVERLAY OF THE MAPARA ESCARPMENT AREA
- SITE HAS AN OVERLAY OF THE OUTSTANDING LANDSCAPE AREA - WHAKARUA
- VISUAL IMPACT OF THE EQUESTRIAN CENTRE IS LOW, DUE TO THE TOPOGRAPHY OF THE SITE. REFER TO LANDSCAPE ARCHITECTS REPORT
- EQUESTRIAN CENTRE BUILDINGS ARE IN KEEPING WITH EXISTING AGRICULTURAL LAND USE
- MAXIMUM HEIGHT PLAN OF 8m AS SET OUT BY PROPOSED DEVELOPMENT RULES

LEGEND - SURFACES

- NON PERMEABLE MAIN ROAD OR DRIVEWAY
- PERMEABLE PARKING SURFACE, E.G. STONE/GRAVEL
- CONCRETE FLOOR SLAB
- GRASSED AREA/LANDSCAPING (UNGRAZED)
- GRASSED AREA (FOR PASTURE)
- HEDGING
- TREES
- ARENA SURFACE
- PRIMARY BRIDLE TRAIL SURFACE, PUMICE OR GRAVEL
- SECONDARY TRACKS THROUGH PASTURE, PUMICE OR GRAVEL
- HARDSCAPING, SUCH AS A DECK
- WASTE OR MUCK OUT AREA
- POST & RAIL FENCING
- BUILDING ZONE
- BUILDING FOOTPRINT

LEGEND - FACILITIES & OCCUPANCY

| BUILDINGS, INCLUDING: | |
|---------------------------------------|---|
| ST | Stables - 370m ² |
| H | Staff housing x2- 120m ² each |
| G | Garage - Farm equipment storage 40m ² |
| EQUESTRIAN CENTRE GROUNDS, INCLUDING: | |
| A | Arenas - Main arena - 2982m ² Small arena (round pen) - 707m ² |
| ST | Stalls - External stalls (covered) x8 12m ² each External tie up areas (uncovered) Additional covered storage |
| V | Viewing Areas x3 |
| P | Paddocks - External yards x4 (small paddocks) 105237m ² 954m ² Grazing pasture - 104283m ² |
| Other | Wash bays x2 - 65m ² Muck out areas x4 (for horse waste) - 4m ² each |
| PARKING | |
| Vehicle parking | |
| Stables | 5 |
| Staff dwellings | 4 |
| Fleet/truck parking | 23 |
| OCCUPANCY | |
| Stables/clubroom | - 86 |
| 4 x Unisex bathrooms | |
| 1 x Shower | |
| 1 x Accessible bathroom & shower | |

Note: Large pastures for horses at a ratio of 1 horse to 1-2 acres (4000 - 8000m²). Refer A008 for suggested breakdown of paddocks.



Te Tuhi Equestrian Centre



SITE IDENTIFICATION

LOT : LOT 1 DP 378264
 ADDRESS : 287 WHAKAROA ROAD, KINLOCH
 SITE AREA : 10245 10m² (344 HECTARES)
 ED ZONE : ZONE 2
 EXPOSURE : ZONE B
 CLIMATE : ZONE 4
 WIND REG : A
 WINDZONE : VERY HIGH TO EXTRA HIGH
 RAINFALL : 70 - 80

SITE KEY

[SL 9000] SLAB/STRUCTURAL SUBSTRATE LEVEL
 [RL 9000] SPOT LEVEL

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- EQUESTRIAN CENTRE BUILDINGS ARE IN KEEPING WITH EXISTING AGRICULTURAL LAND USE
- MAXIMUM HEIGHT PLAN OF 8m AS SET OUT BY PROPOSED DEVELOPMENT RULES

LEGEND - SURFACES

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- PERMEABLE PARKING SURFACE, E.G. STONE/GRAVEL
- CONCRETE FLOOR SLAB
- GRASSED AREA/LANDSCAPING (UNGRAZED)
- GRASSED AREA (FOR PASTURE)
- HEDGING
- TREES
- ARENA SURFACE
- PRIMARY BRIDLE TRAIL SURFACE, PUMICE OR GRAVEL
- SECONDARY TRACKS THROUGH PASTURE, PUMICE OR GRAVEL
- HARDSCAPING, SUCH AS A DECK
- WASTE OR MUCK OUT AREA
- POST & RAIL FENCING
- BUILDING ZONE
- BUILDING FOOTPRINT

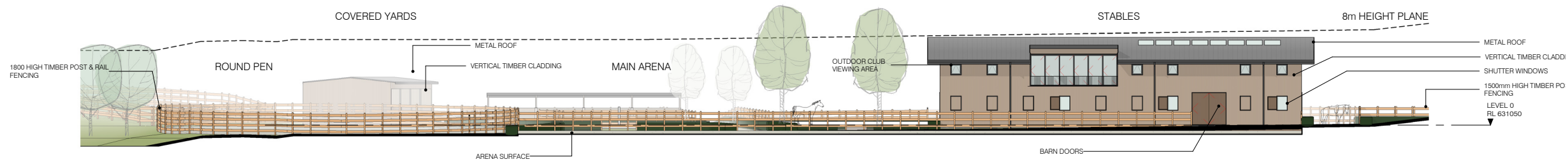
LEGEND - FACILITIES & OCCUPANCY

| BUILDINGS, INCLUDING: | | |
|---------------------------------------|--------------------------------------|---|
| ST | Stables - | 370m ² |
| H | Staff housing x2- | 120m ² each |
| G | Garage - | Farm equipment storage 40m ² |
| EQUESTRIAN CENTRE GROUNDS, INCLUDING: | | |
| A | Arenas | 2982m ² |
| | Main arena - | 2275m ² |
| | Small arena (round pen) - | 707m ² |
| ST | Stalls | External stalls (covered) x8 12m ² each |
| | External tie up areas (uncovered) | |
| | Additional covered storage | |
| V | Viewing Areas x3 | |
| P | Paddocks | External yards x4 (small paddocks) 105237m ² |
| | Grazing pasture - | 954m ² 104283m ² |
| WB | Wash bays x2 - | 65m ² |
| M | Muck out areas x4 (for horse waste)- | 4m ² each |
| PARKING | | |
| | Vehicle parking | |
| | Stables | 5 |
| | Staff dwellings | 4 |
| | Flat/truck parking | 23 |

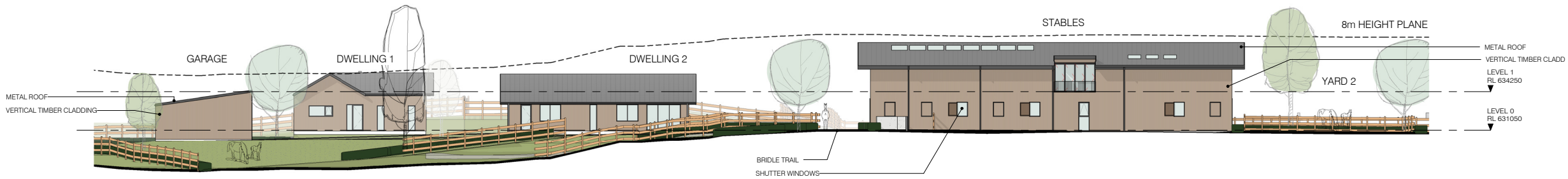
| OCCUPANCY | |
|----------------------------------|----|
| Stables/clubroom | 86 |
| 4 x Urinals/bathrooms | |
| 1 x Shower | |
| 1 x Accessible bathroom & shower | |

Note: Large pastures for horses at a ratio of 1 horse to 1-2 acres (4000 - 8000m²). Refer A008 for suggested

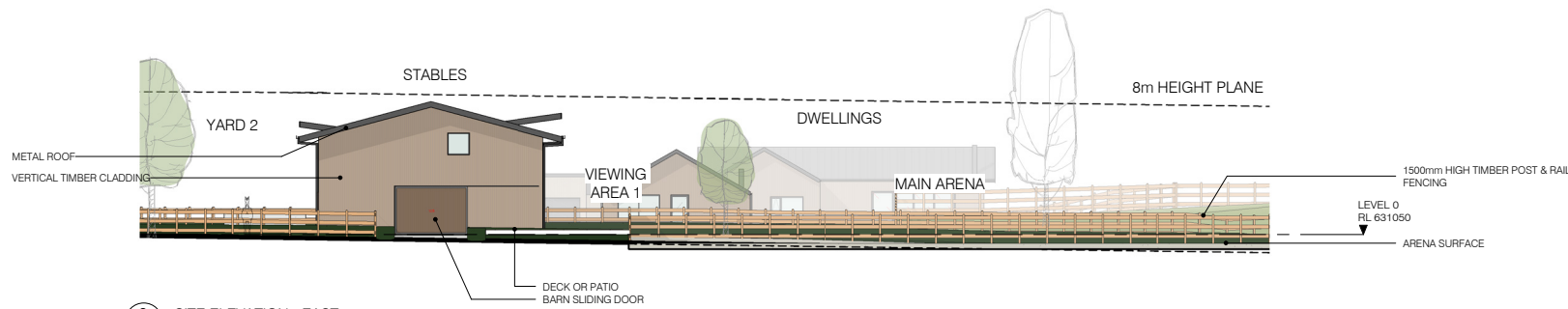
Te Tuhi Equestrian Centre



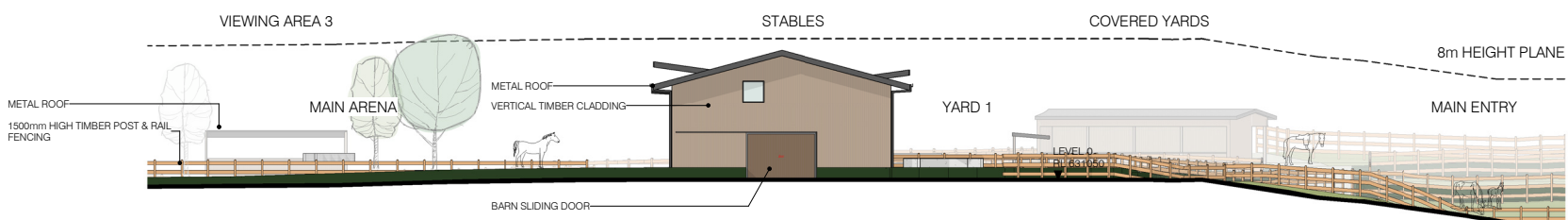
1 SITE ELEVATION - NORTH
1:200 @ A1 1:400 @ A3



2 SITE ELEVATION - SOUTH
A005 1:200 @ A1 1:400 @ A3



3 SITE ELEVATION - EAST
A005 1:200 @ A1 1:400 @ A3



4 SITE ELEVATION - WEST
A005 1:200 @ A1 1:400 @ A3

ADDRESS : 287 WHAKAROA ROAD, KINLOCH
 SITE AREA : 1024510m² (344 HECTARES)
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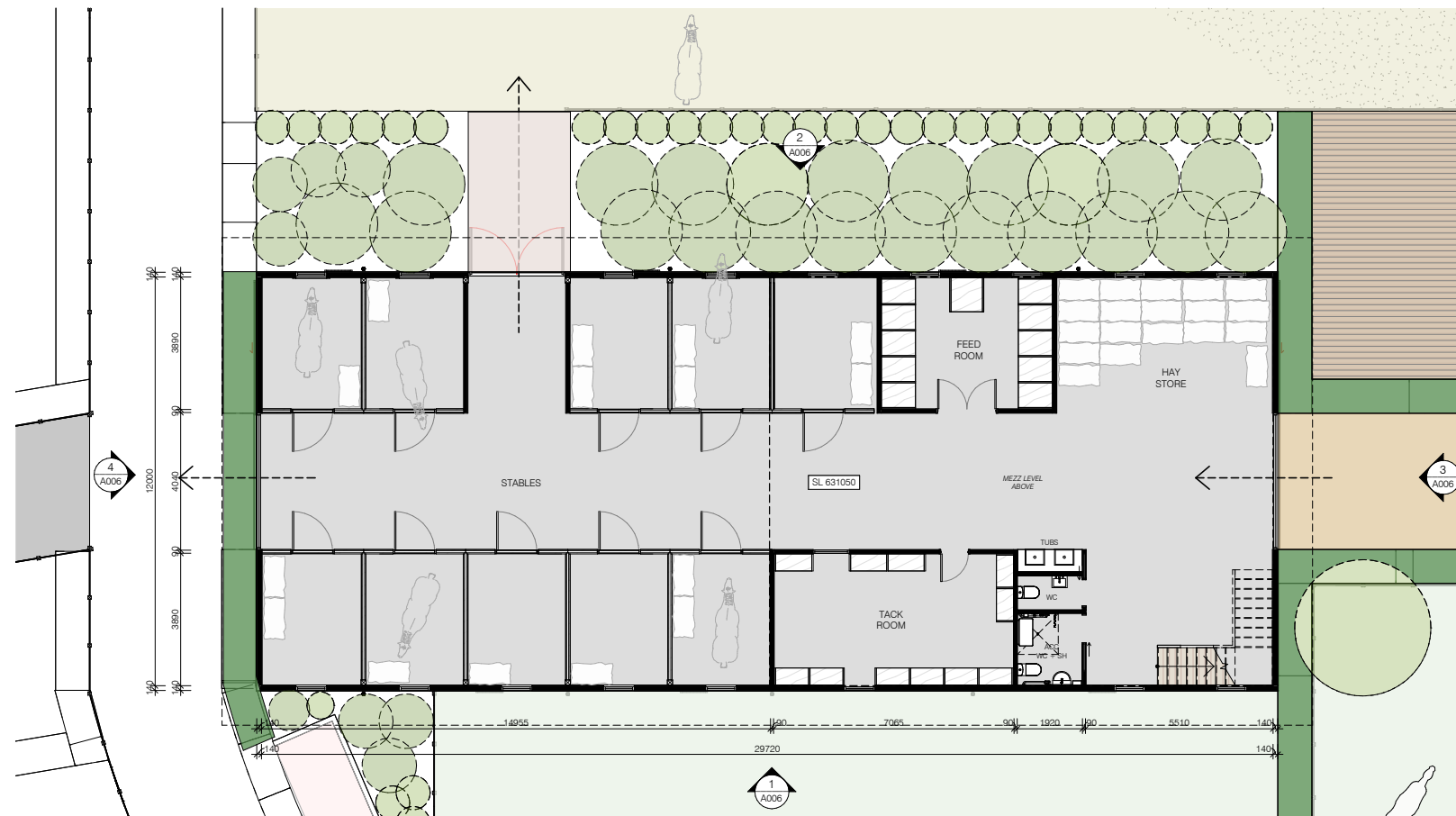
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- SL 9000 SLAB/STRUCTURAL SUBSTRATE LEVEL
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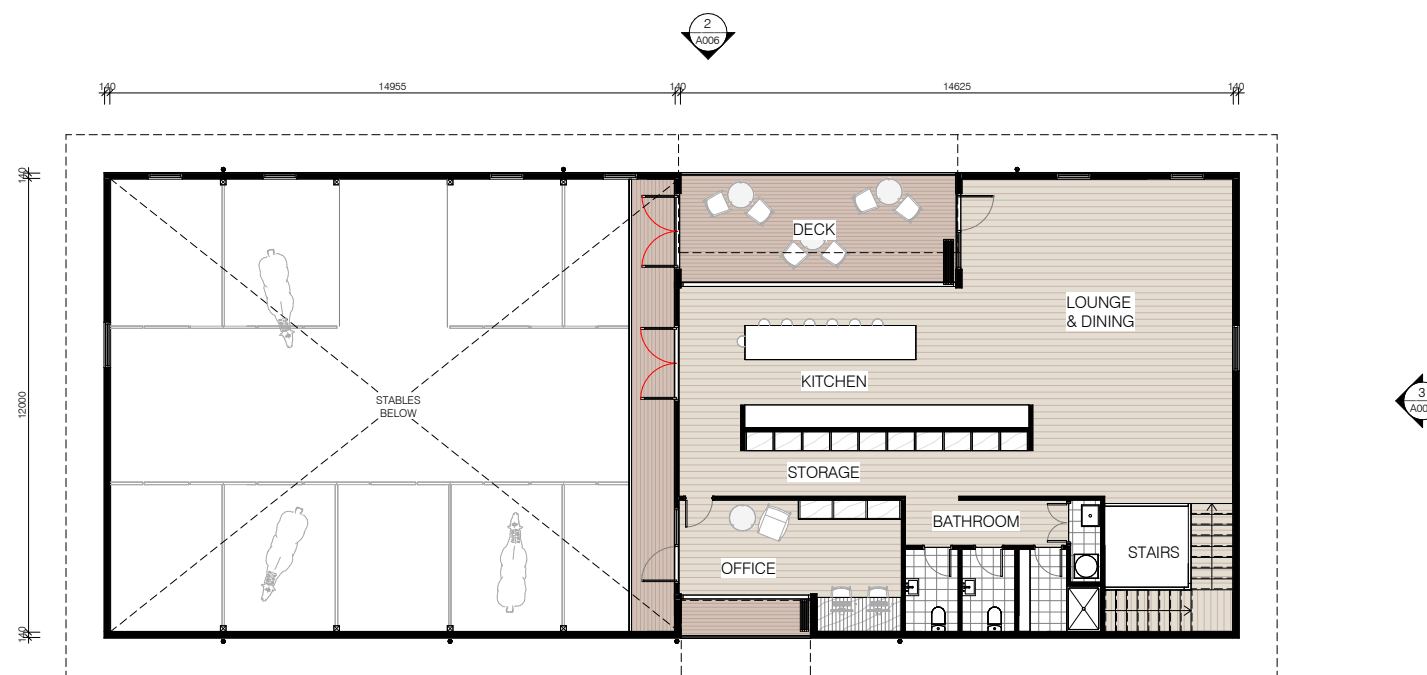
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3. SITE HAS AN OVERLAY OF OUTSTANDING LANDSCAPE AREA - WHAKAPOA
4. VISUAL IMPACT OF THE EQUESTRIAN CENTRE IS LOW, DUE TO THE TOPOGRAPHY OF THE SITE. REFER TO LANDSCAPE ARCHITECTS REPORT.
5. EQUESTRIAN CENTRE BUILDINGS ARE IN KEEPING WITH EXISTING AGRICULTURAL LAND USE
6. MAXIMUM HEIGHT PLAN OF 8m AS SET OUT BY PROPOSED DEVELOPMENT RULES

Te Tuhi Equestrian Centre



1 STABLES PLAN
A004 1:100 @ A1 1:200 @ A3 PLAN VIEW



2 STABLES PLAN L1
A004 1:100 @ A1 1:200 @ A3 PLAN VIEW

SITE IDENTIFICATION

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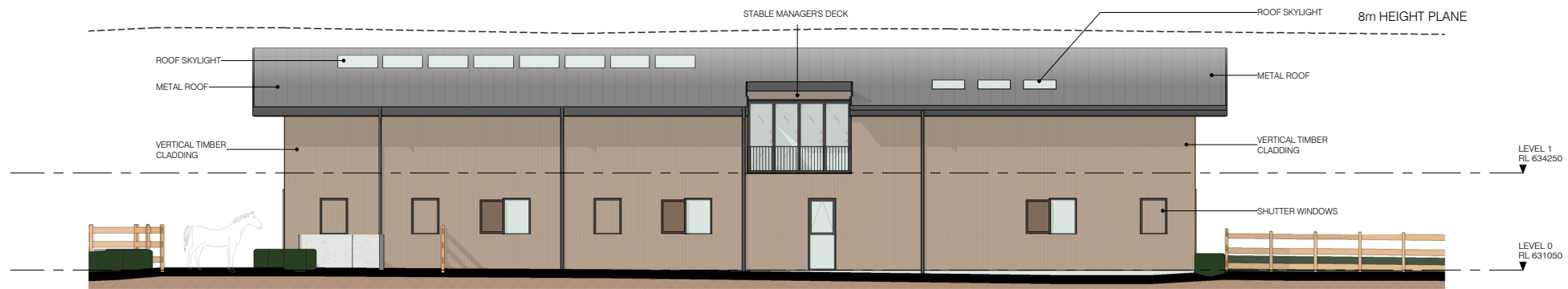
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LEGEND - FACILITIES & OCCUPANCY

| BUILDINGS, INCLUDING: | | |
|---------------------------------------|--|----------------------------------|
| ST | Stables - | 370m ² |
| H | Staff housing x2- | 120m ² each |
| G | Garage - | |
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| P | Paddocks | 105237m ² |
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| | Grazing pasture | 104283m ² |
| | 4 x Unisex bathrooms | |
| | 1 x Shower | |
| Other | Wash bays x2 - | 1 x Accessible bathroom & shower |
| WB | Muck out areas x4 (for horse waste) - | 4m ² each |
| M | Note: Large pastures for horses at a ratio of 1 horse to suggested | |
| PARKING | | |
| | Vehicle parking | |
| | Stables | 5 |
| | Staff dwellings | 4 |
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| OCCUPANCY | | |
| | Stables/clubroom - | 86 |
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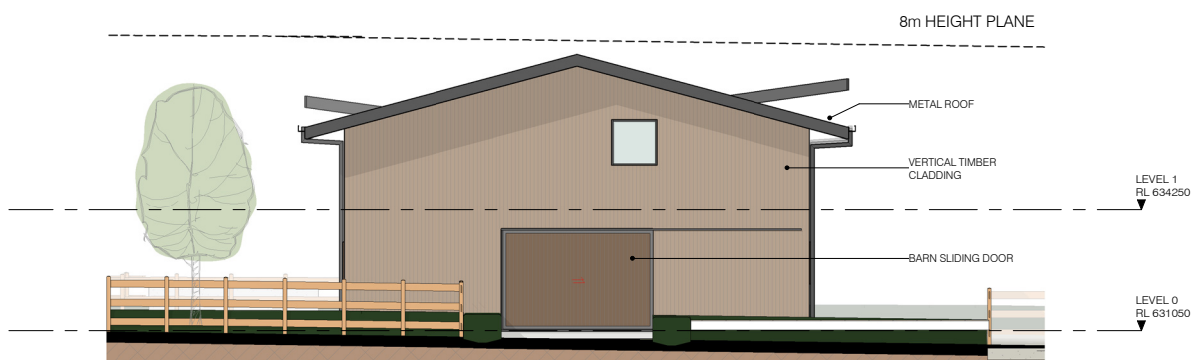
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1 STABLES - SOUTH EAST ELEVATION
A005 1:100 @ A1 1:200 @ A3



2 STABLES - NORTH WEST ELEVATION
A005 1:100 @ A1 1:200 @ A3



3 STABLES - SOUTH WEST ELEVATION
A005 1:100 @ A1 1:200 @ A3



4 STABLES - NORTH EAST ELEVATION
A005 1:100 @ A1 1:200 @ A3

Te Tuhi Equestrian Centre



1 DWELLING 1 PLAN
1:100 @ A1 1:100 @ A3 PLAN VIEW



2 DWELLING 2 PLAN
1:100 @ A1 1:100 @ A3 PLAN VIEW

SITE IDENTIFICATION

LOT : LOT 1 DP 378264
 ADDRESS : 287 WHAKAROA ROAD, KINLOCH
 SITE AREA : 1024510m² (344 HECTARES)
 EQ ZONE : ZONE 2
 EXPOSURE : ZONE B
 CLIMATE : ZONE 4
 WIND REG : A
 WINDZONE : VERY HIGH TO EXTRA HIGH
 RAINFALL : 70 - 80

SITE KEY

SL 9000 SLAB/STRUCTURAL SUBSTRATE LEVEL
 RL 9000 SPOT LEVEL

RESOURCE CONSENT NOTES

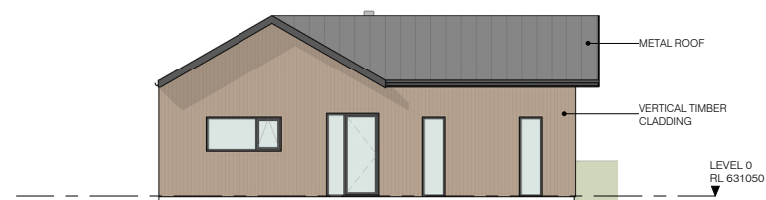
1. SITE IS IN A RURAL ENVIRONMENT ZONE
2. SITE HAS AN OVERLAY OF THE MAPARA ESCARPMENT AREA
3. SITE HAS AN OVERLAY OF OUTSTANDING LANDSCAPE AREA - WHAKAROA
4. VISUAL IMPACT OF THE EQUESTRIAN CENTRE IS LOW, DUE TO THE TOPOGRAPHY OF THE SITE. REFER TO LANDSCAPE ARCHITECT'S REPORT.
5. EQUESTRIAN CENTRE BUILDINGS ARE IN KEEPING WITH EXISTING AGRICULTURAL LAND USE
6. MAXIMUM HEIGHT PLAN OF 8m AS SET OUT BY PROPOSED DEVELOPMENT RULES



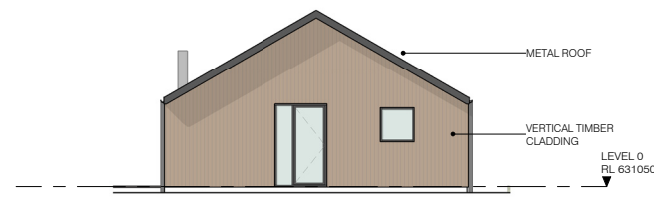
3 DWELLING 1 ELEVATION 1
1:100 @ A1 1:100 @ A3 PLAN VIEW



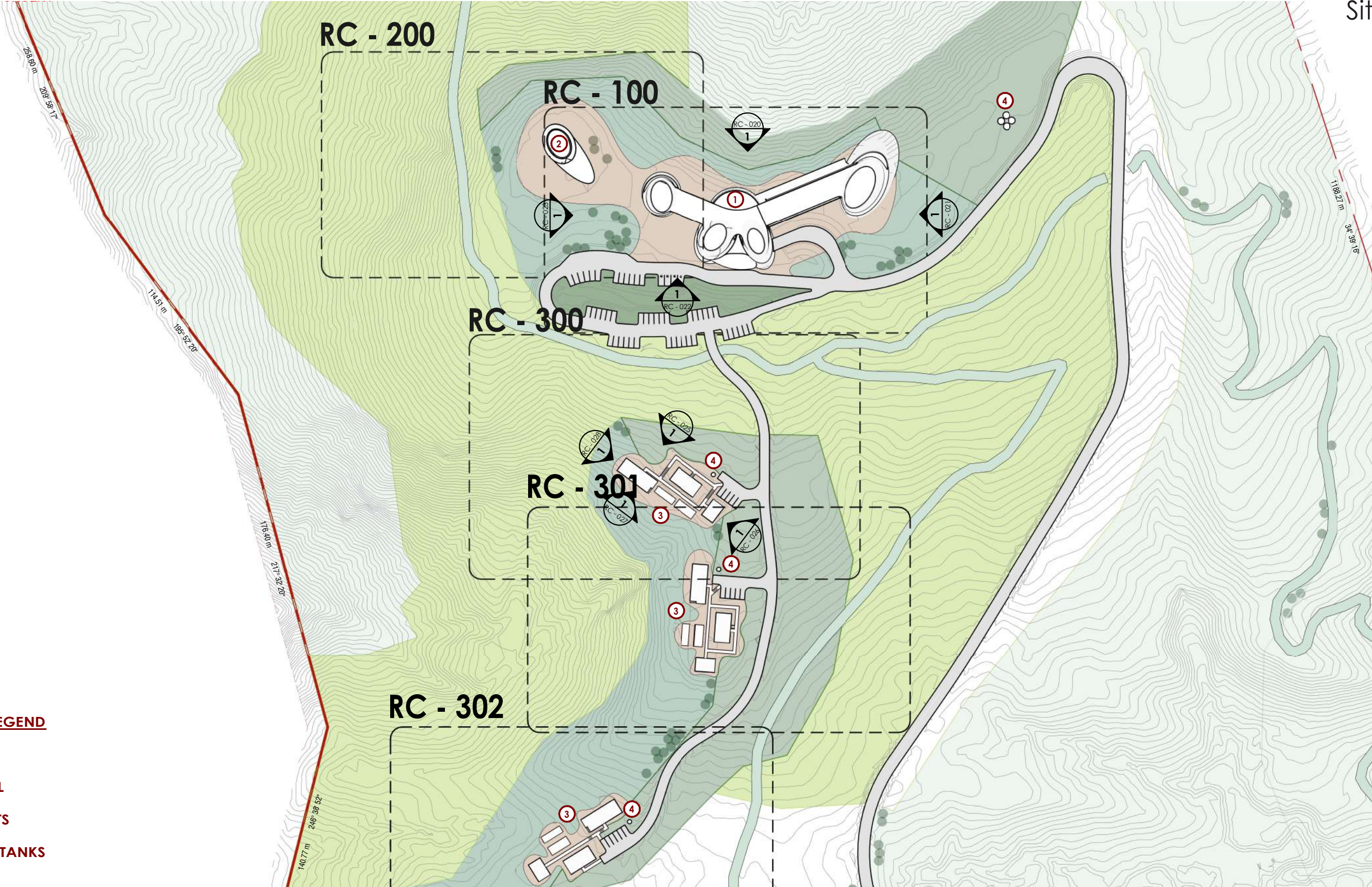
6 DWELLING 2 ELEVATION 1
1:100 @ A1 1:100 @ A3 PLAN VIEW



4 DWELLING 1 ELEVATION 2
1:100 @ A1 1:100 @ A3 PLAN VIEW



5 DWELLING 2 ELEVATION 2
1:100 @ A1 1:100 @ A3 PLAN VIEW

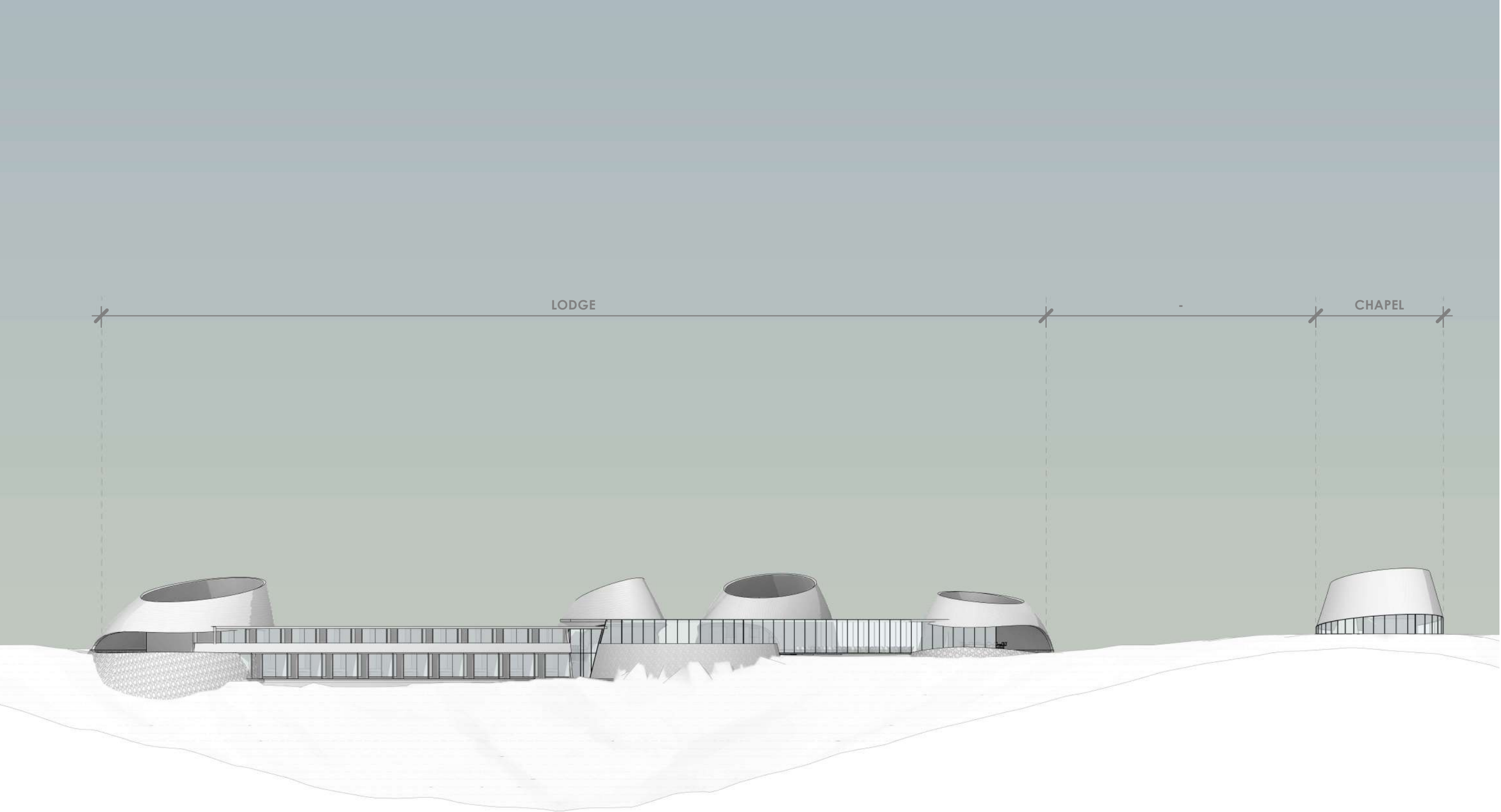


PLAN KEY LEGEND

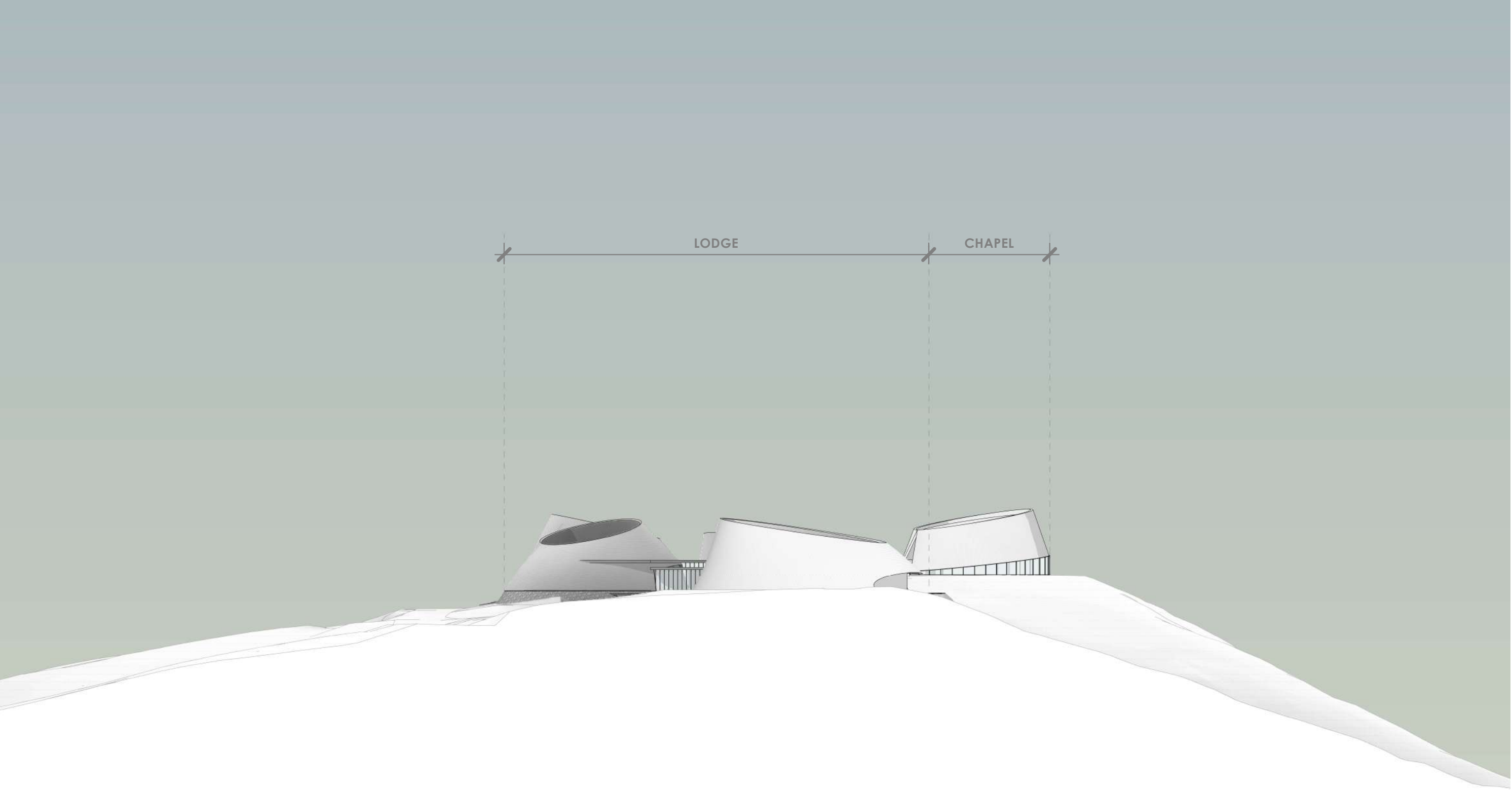
- 01 - LODGE
- 02 - CHAPEL
- 03 - CHALETS
- 04 - WATER TANKS



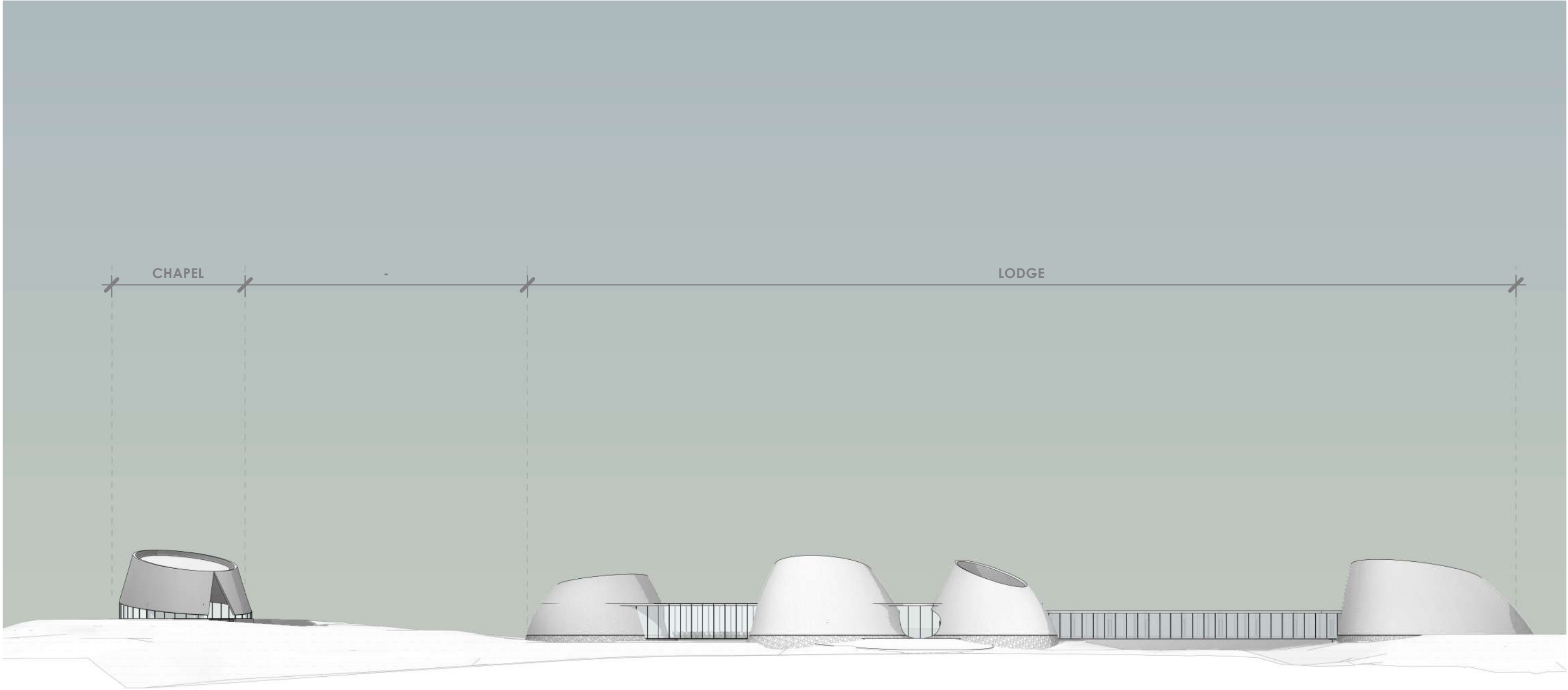
Overall Site Elevation Lodge - North



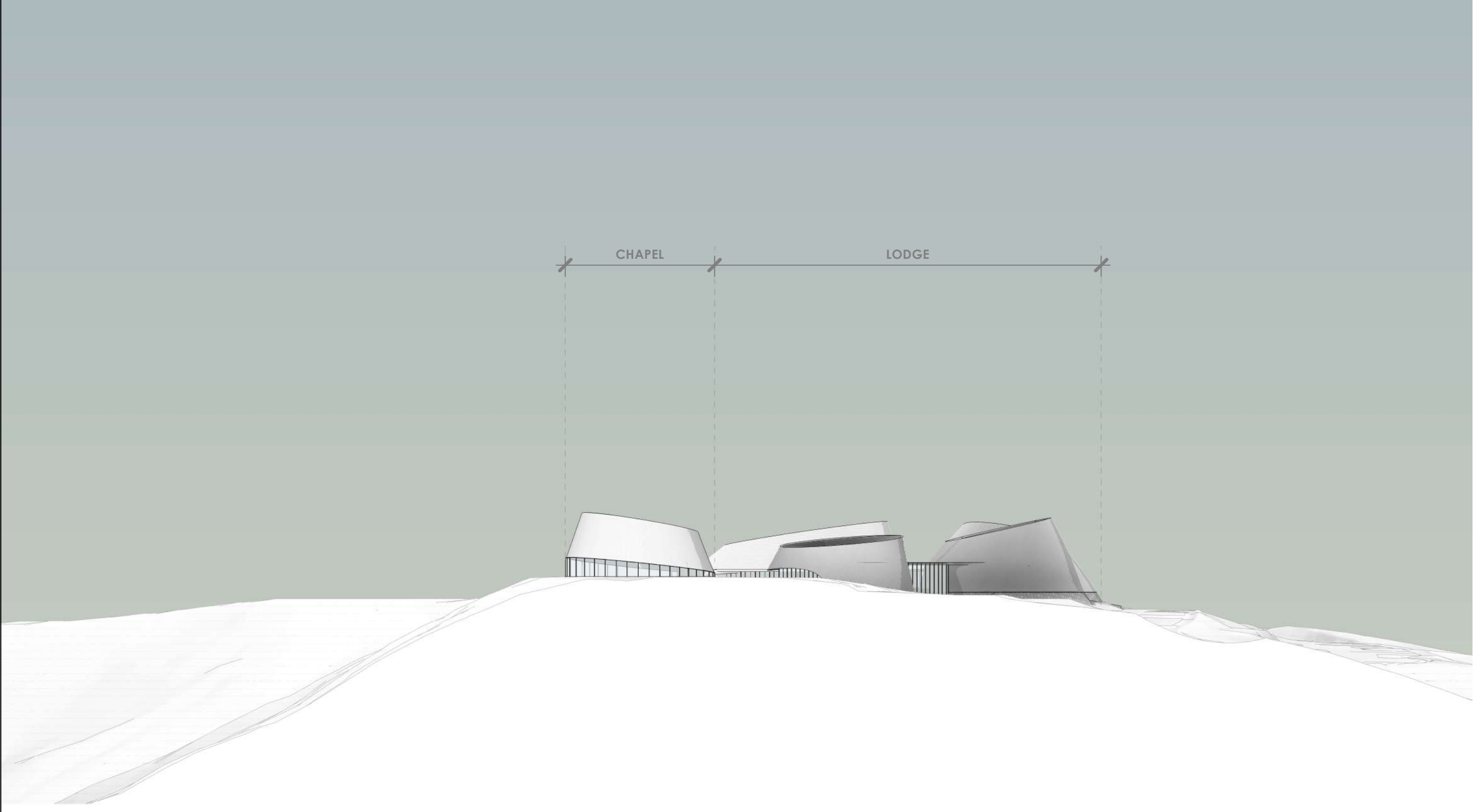
Overall Site Elevation Lodge - East



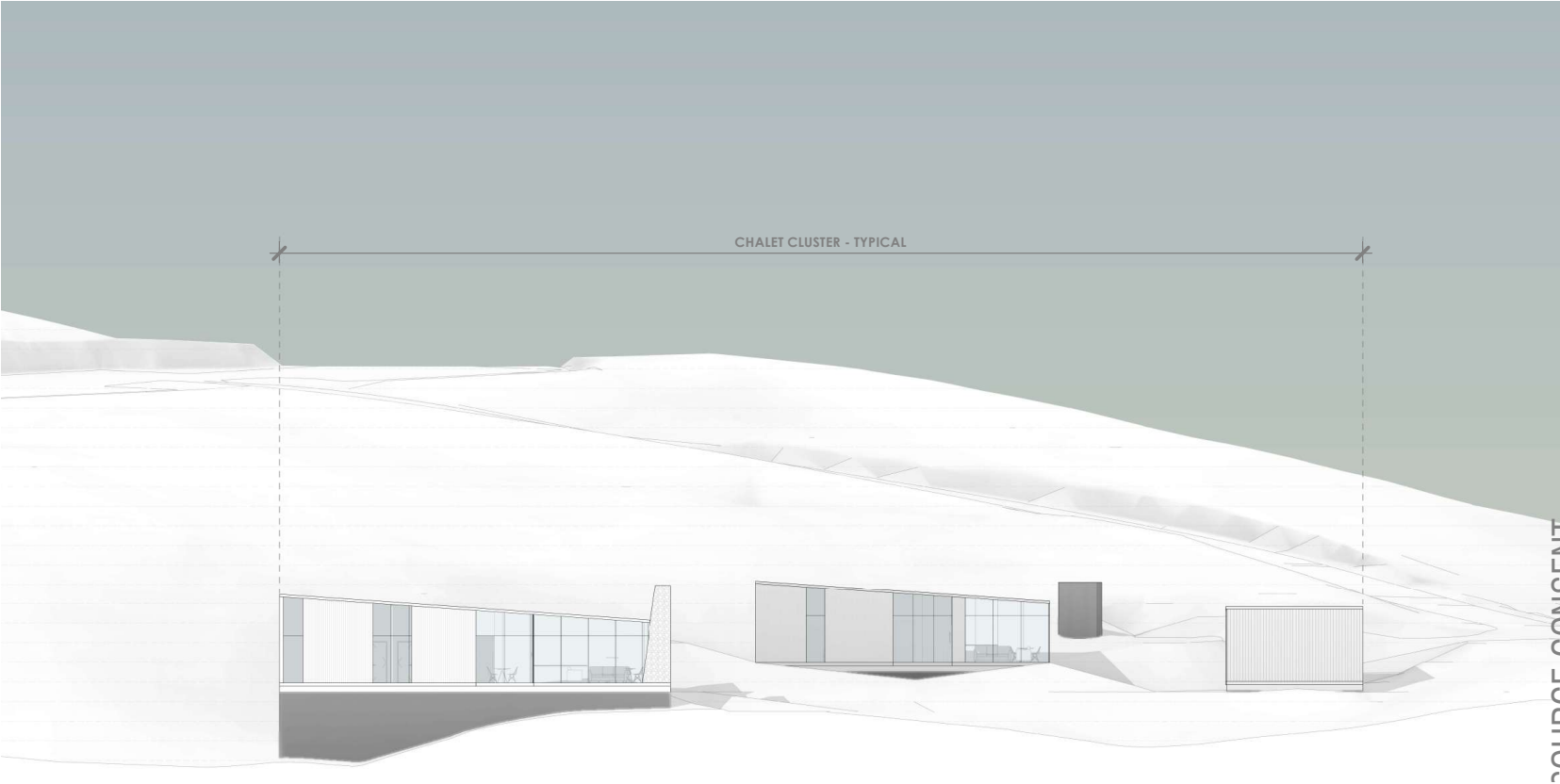
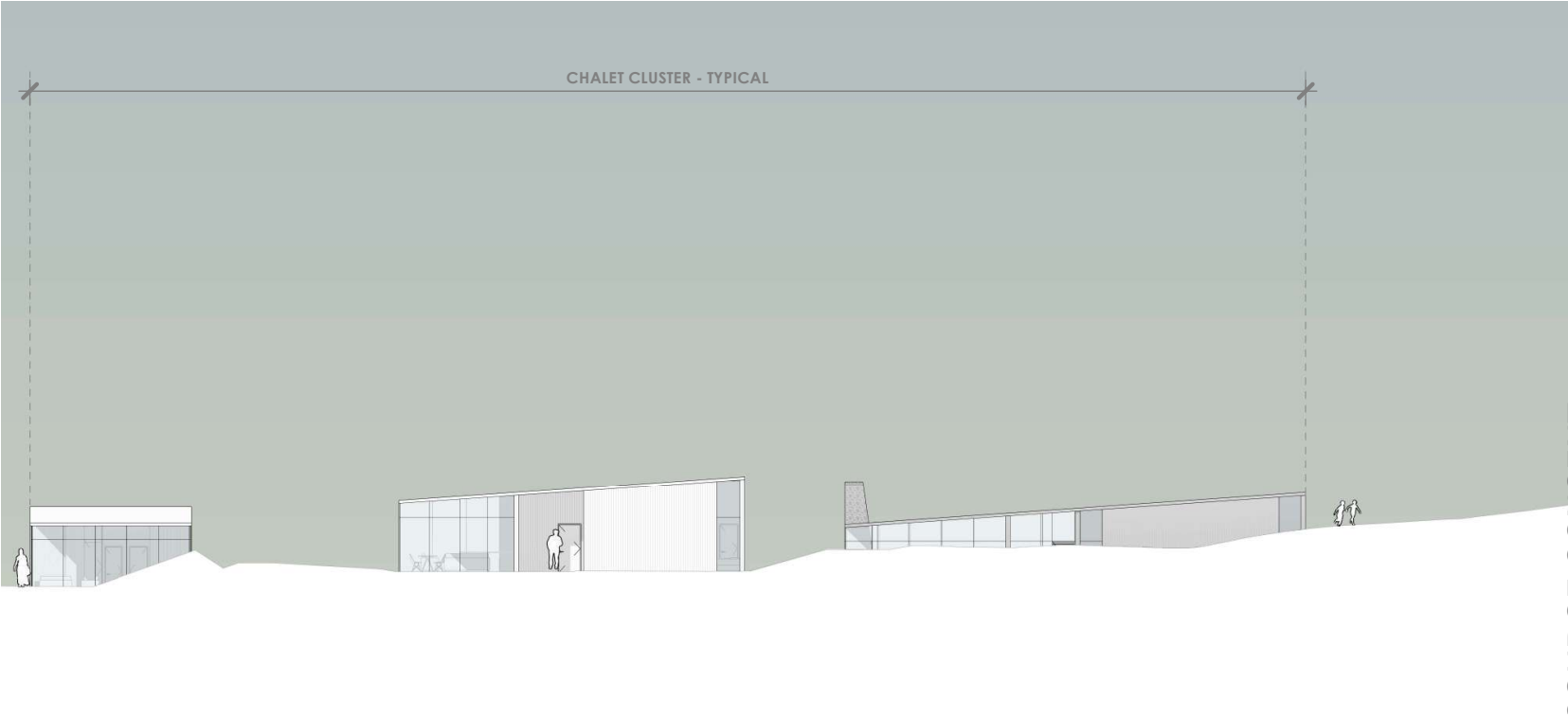
Overall Site Elevation Lodge - South

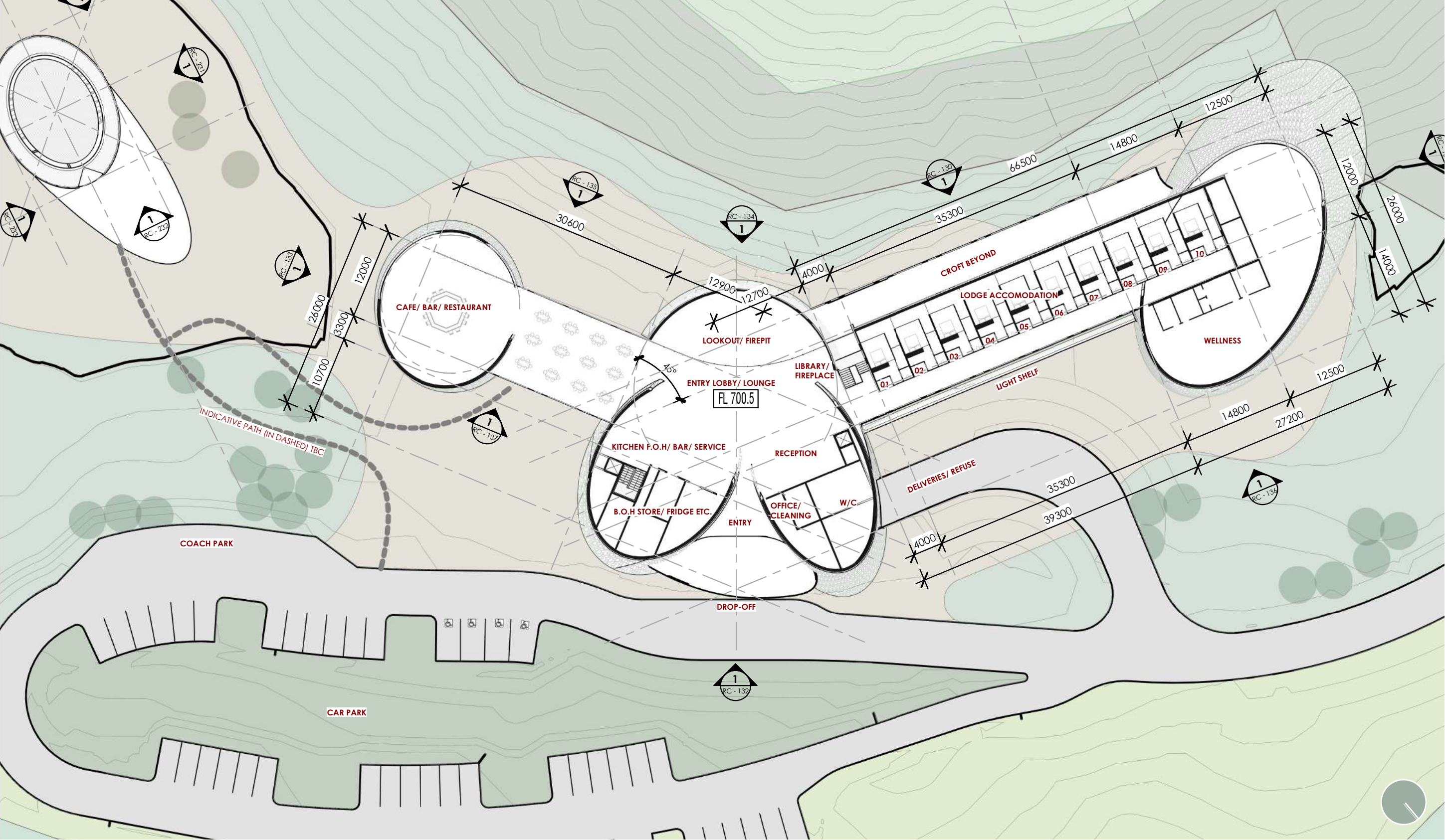


Overall Site Elevation Lodge - West

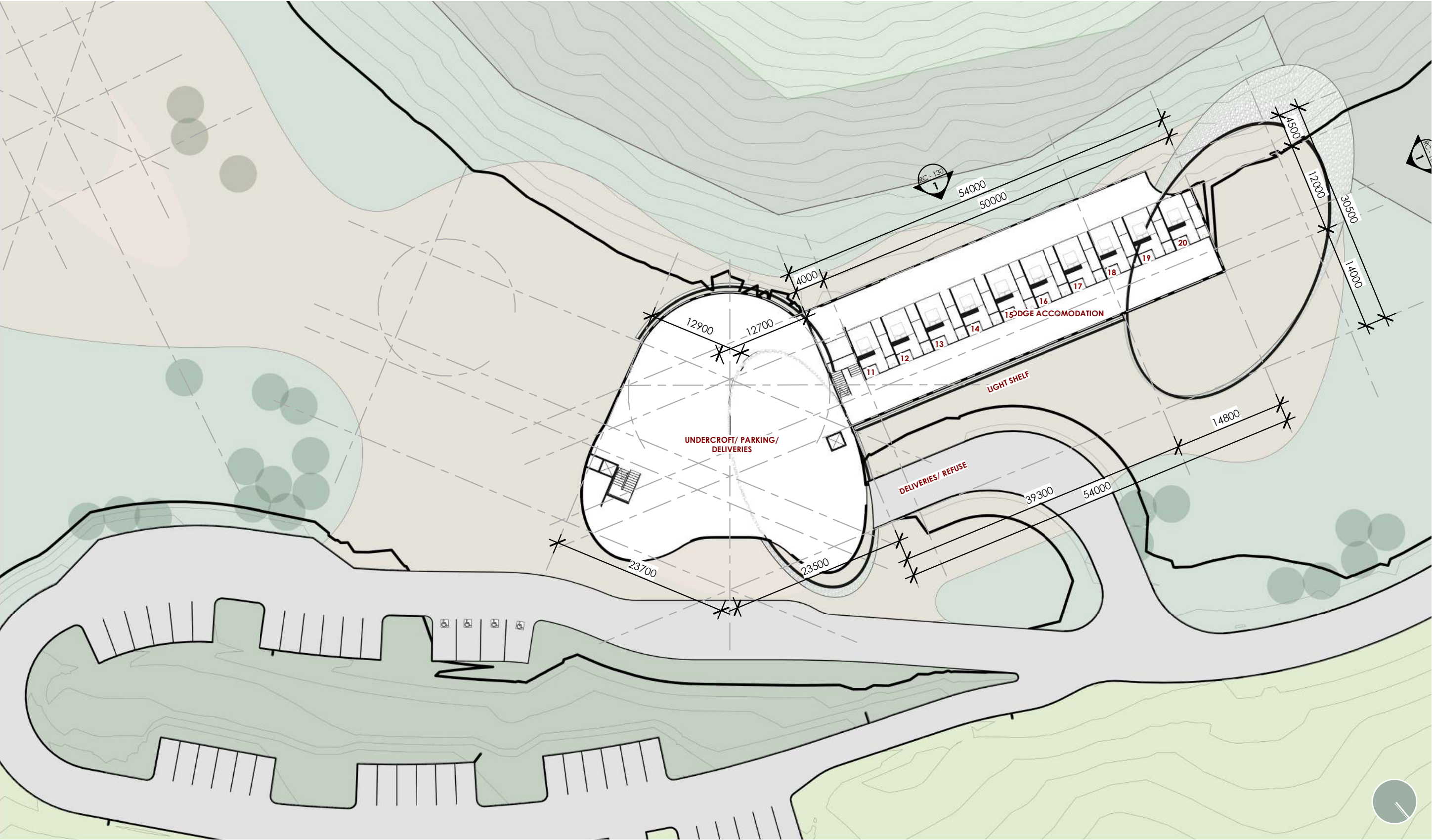


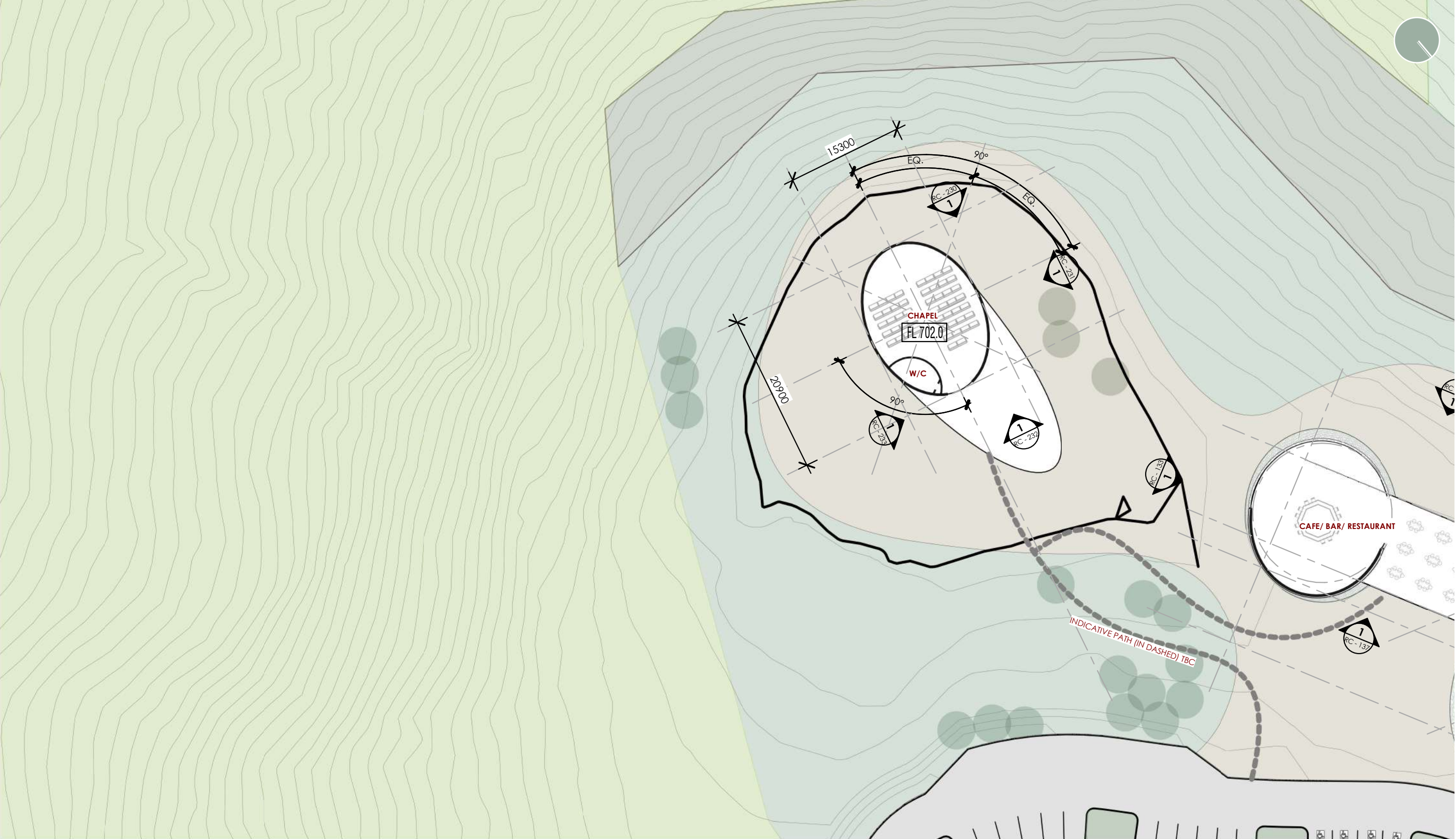
Overall Site Elevation Chalets





Lower Ground Floor Plan Lodge



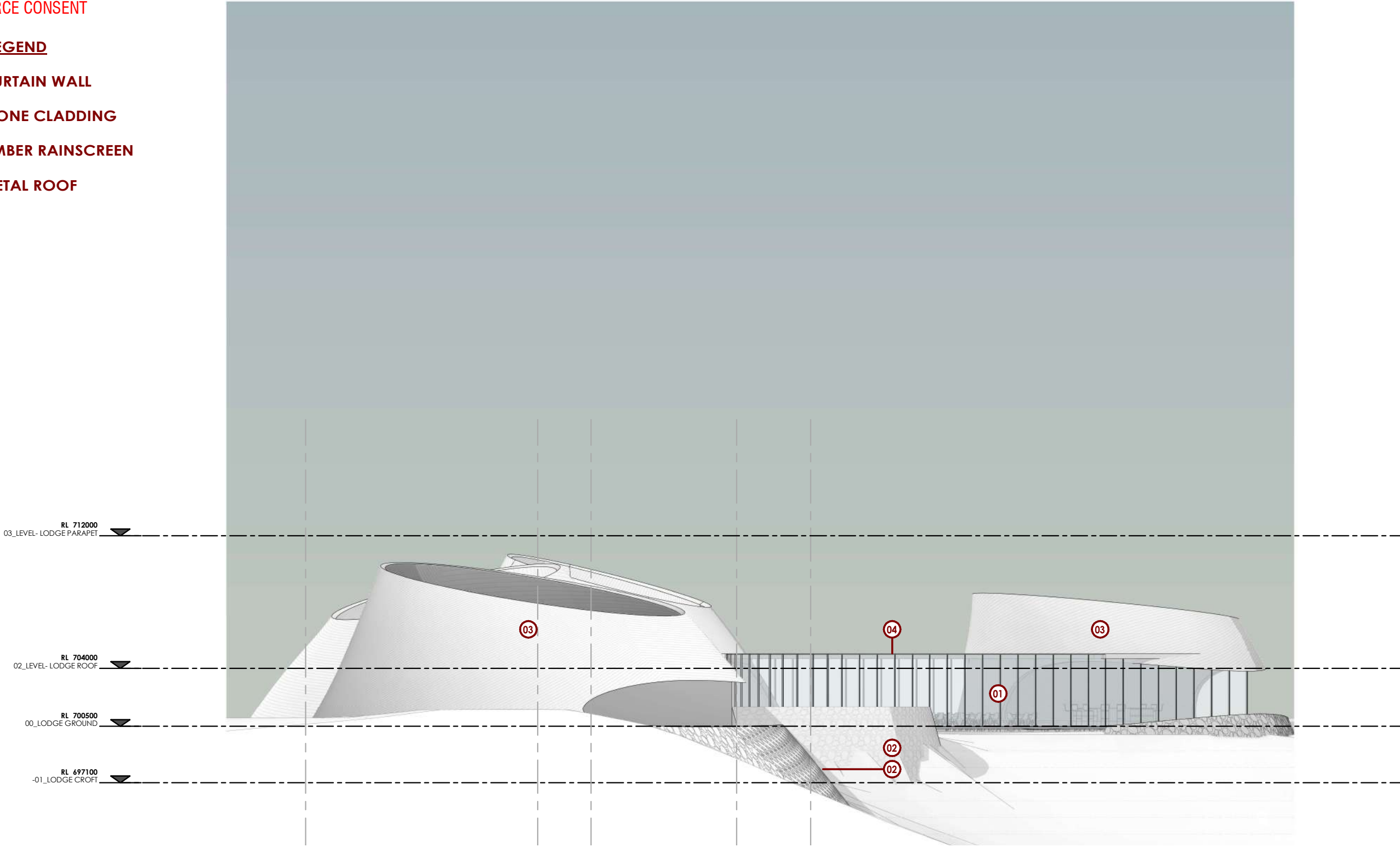


Building Elevation Lodge - East

RESOURCE CONSENT

KEY/ LEGEND

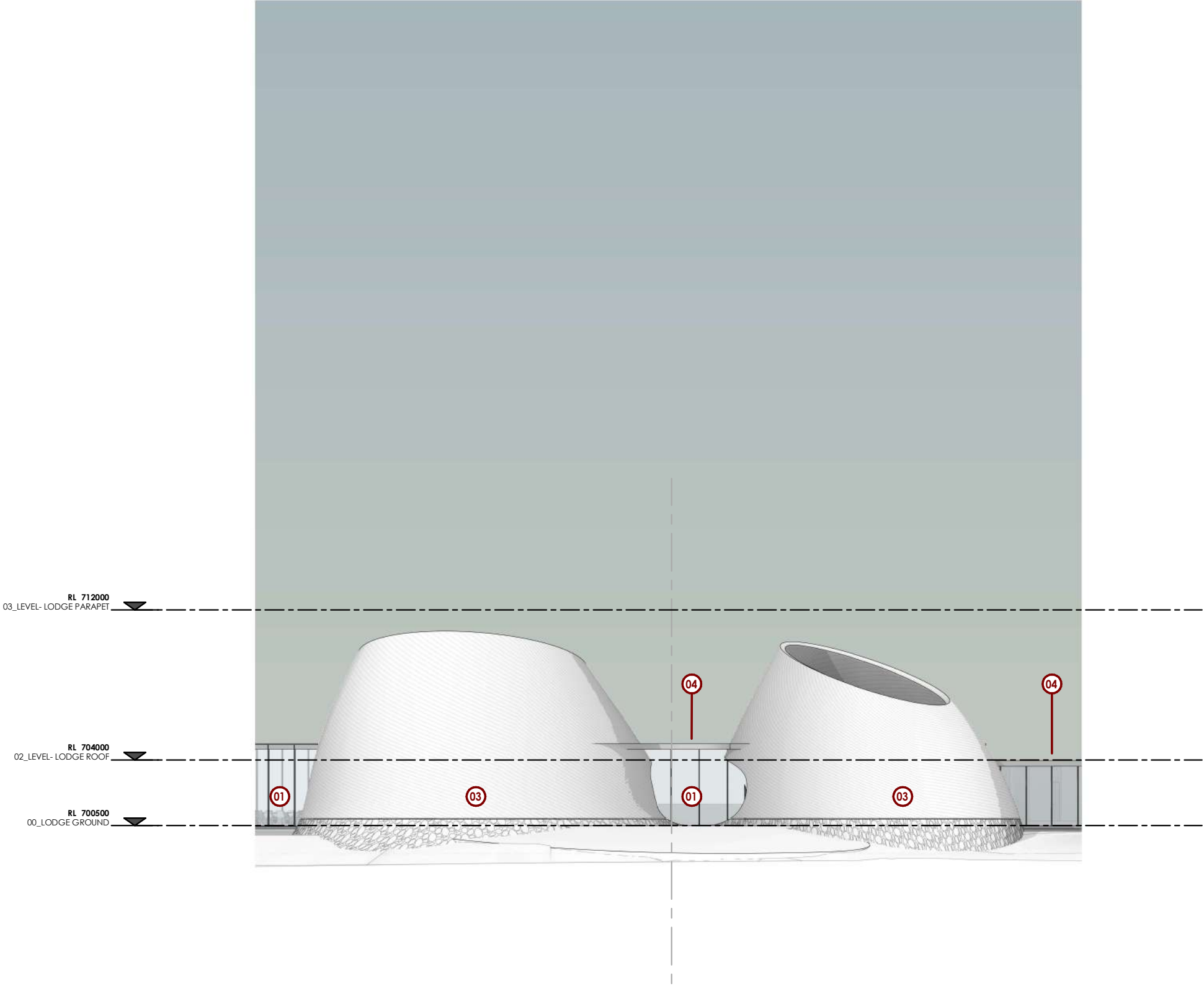
- 01 - CURTAIN WALL
- 02 - STONE CLADDING
- 03 - TIMBER RAINSCREEN
- 04 - METAL ROOF



Building Elevation Lodge - South

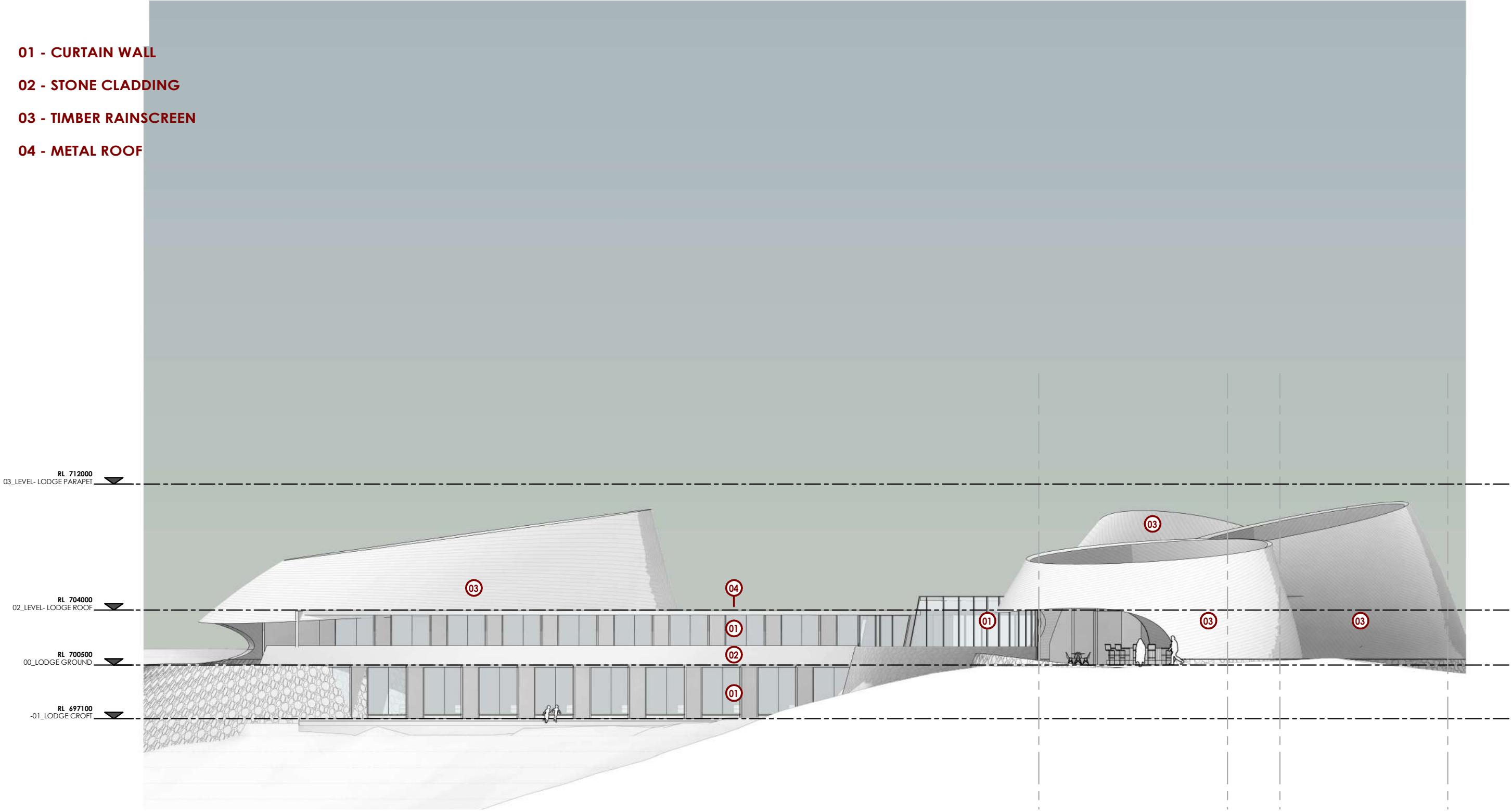
KEY/ LEGEND

- 01 - CURTAIN WALL
- 02 - STONE CLADDING
- 03 - TIMBER RAINSCREEN
- 04 - METAL ROOF



Building Elevation Lodge - West

- 01 - CURTAIN WALL
- 02 - STONE CLADDING
- 03 - TIMBER RAINSCREEN
- 04 - METAL ROOF



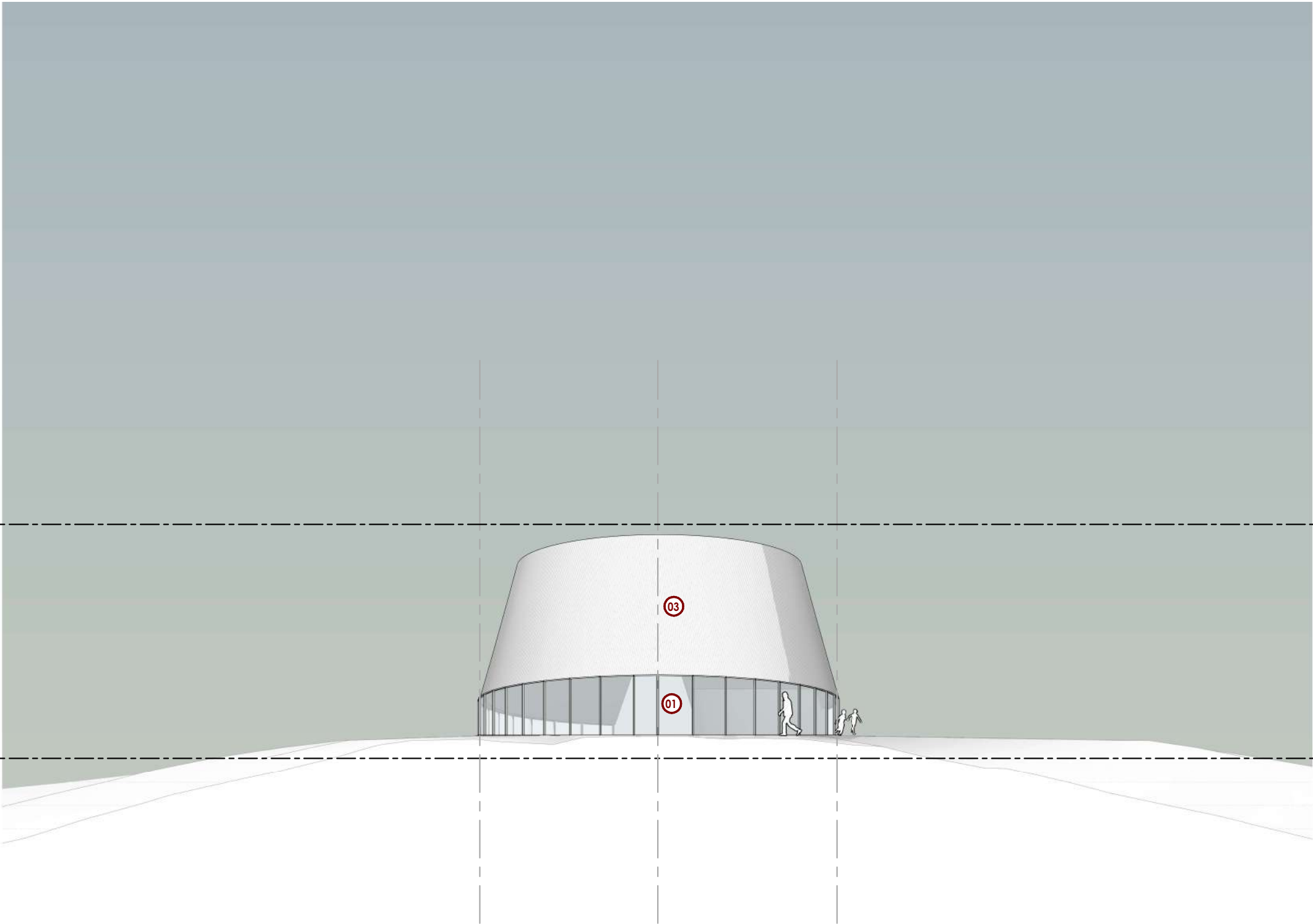
Building Elevation Chapel - North

KEY/ LEGEND

- 01 - CURTAIN WALL
- 02 - STONE VENEER
- 03 - TIMBER RAINSCREEN
- 04 - METAL ROOF

RL 712000
03_LEVEL- LODGE PARAPET

RL 702000
01 - CHAPEL GROUND



Site Plan Chalet Cluster (Upper)

PLAN KEY LEGEND - CHALETs

13C

UNIT NUMBER CHALET TYPE

- 3A CHALET (1 BEDROOM)
- 3B CHALET (2 BEDROOM)
- 3C CHALET (3 BEDROOM)
- 4 WATER TANK



Site Plan Chalet Cluster (Central)

PLAN KEY LEGEND - CHALETS

- 13C
- UNIT NUMBER — CHALET TYPE
- 3A CHALET (1 BEDROOM)
- 3B CHALET (2 BEDROOM)
- 3C CHALET (3 BEDROOM)
- 4 WATER TANK



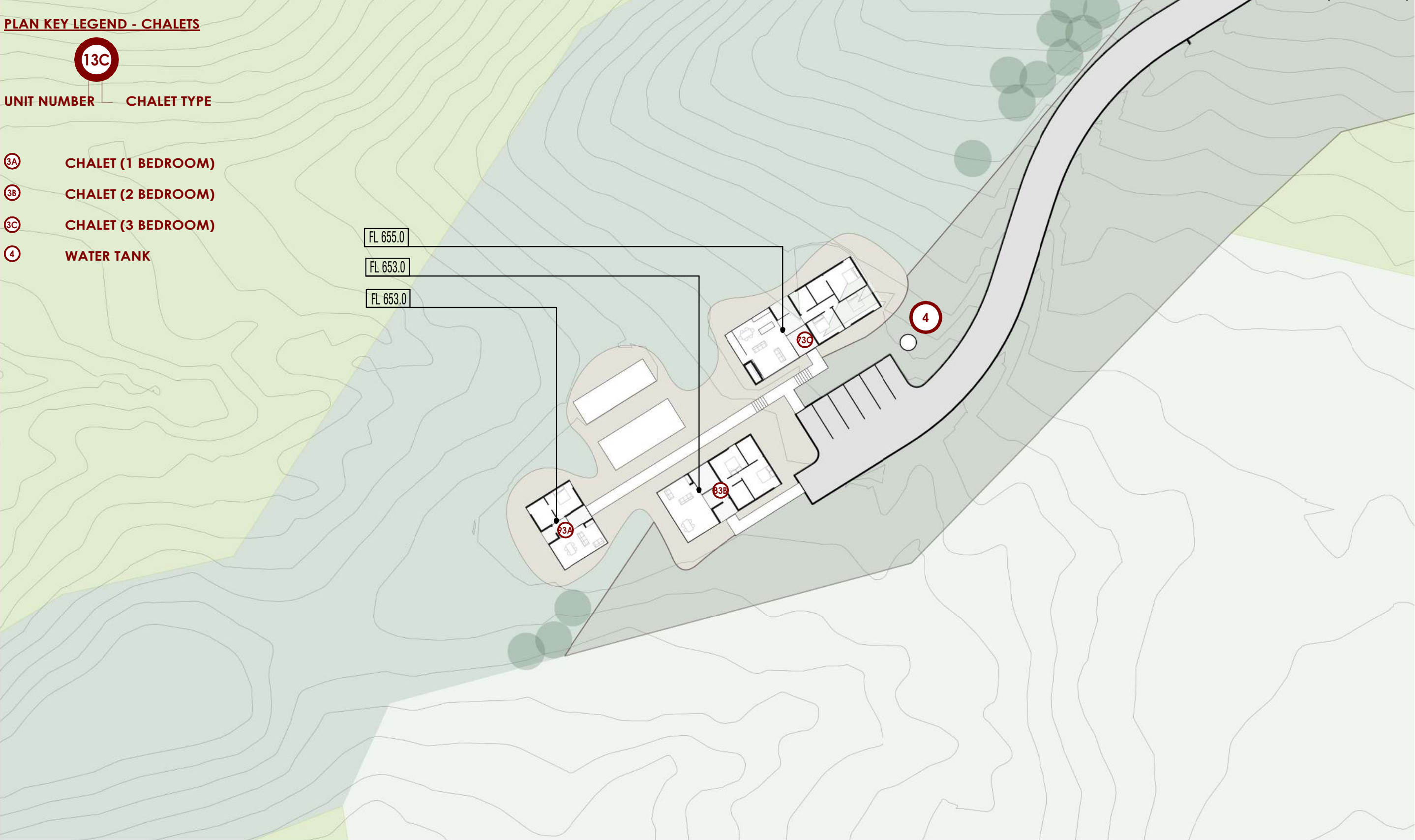
Site Plan Chalet Cluster (Lower)

PLAN KEY LEGEND - CHALETs



UNIT NUMBER CHALET TYPE

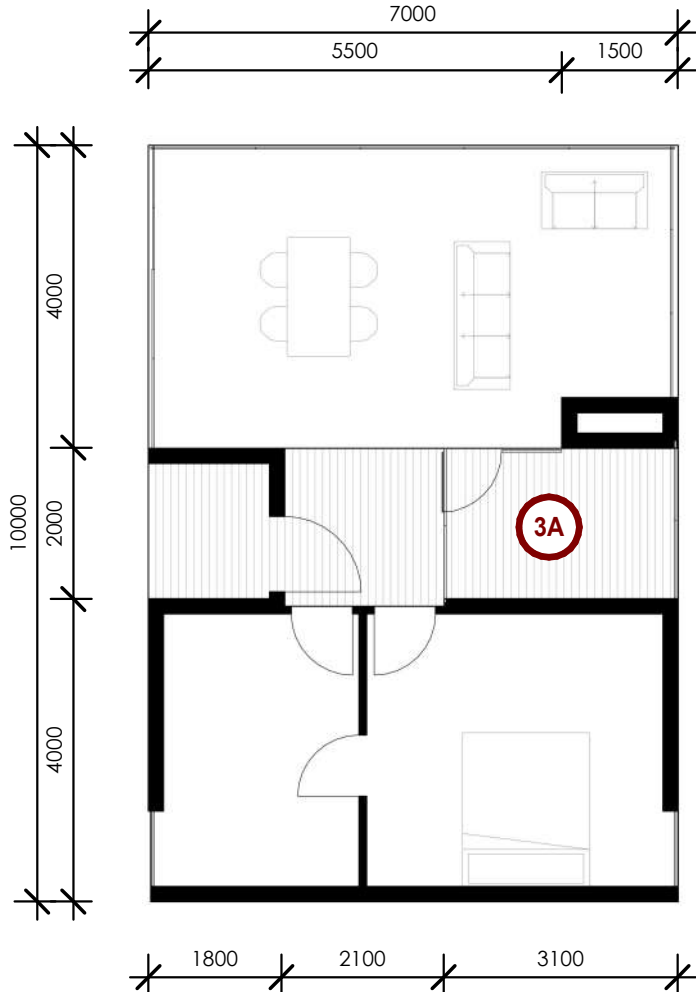
- ③A CHALET (1 BEDROOM)
- ③B CHALET (2 BEDROOM)
- ③C CHALET (3 BEDROOM)
- ④ WATER TANK



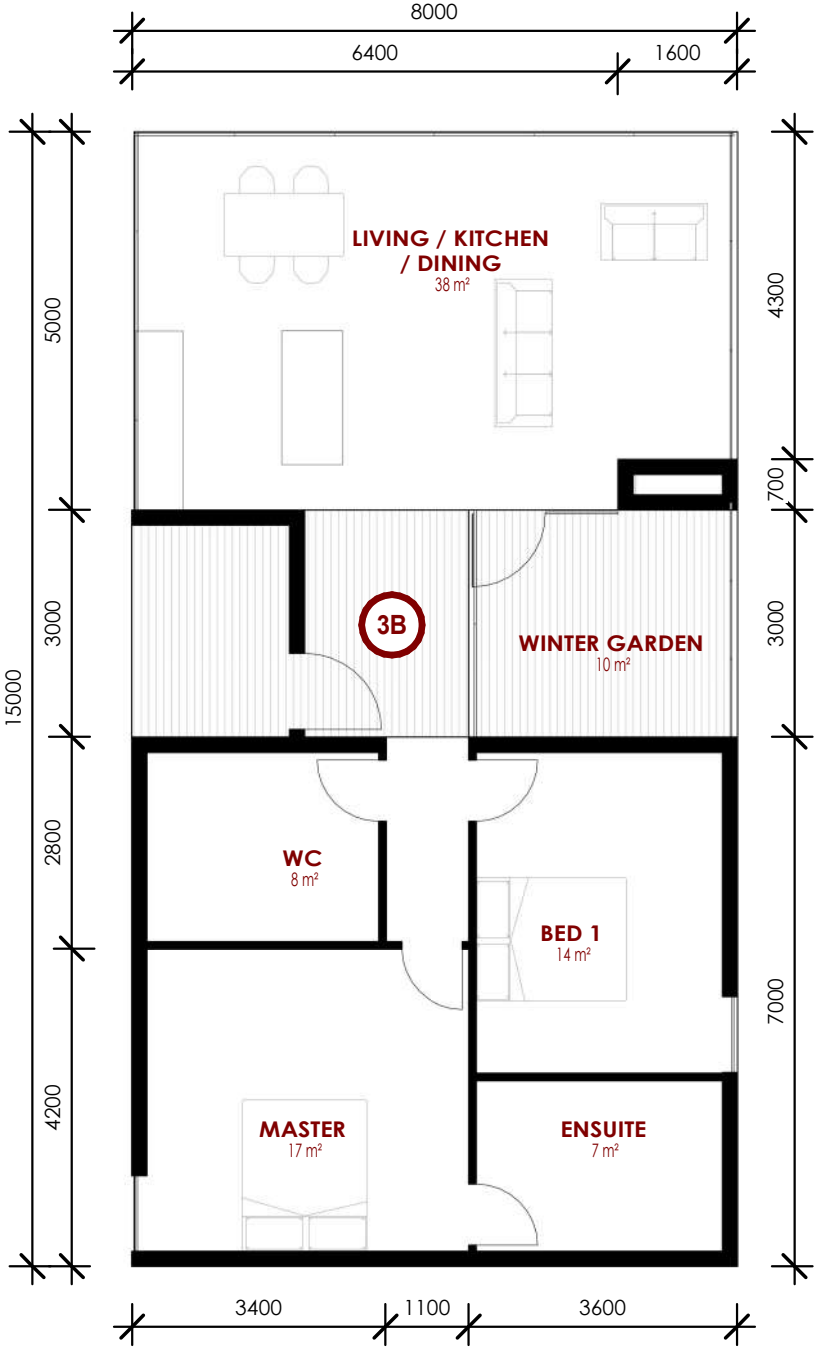
Floor Plan Chalets

PLAN KEY LEGEND - CHALETS

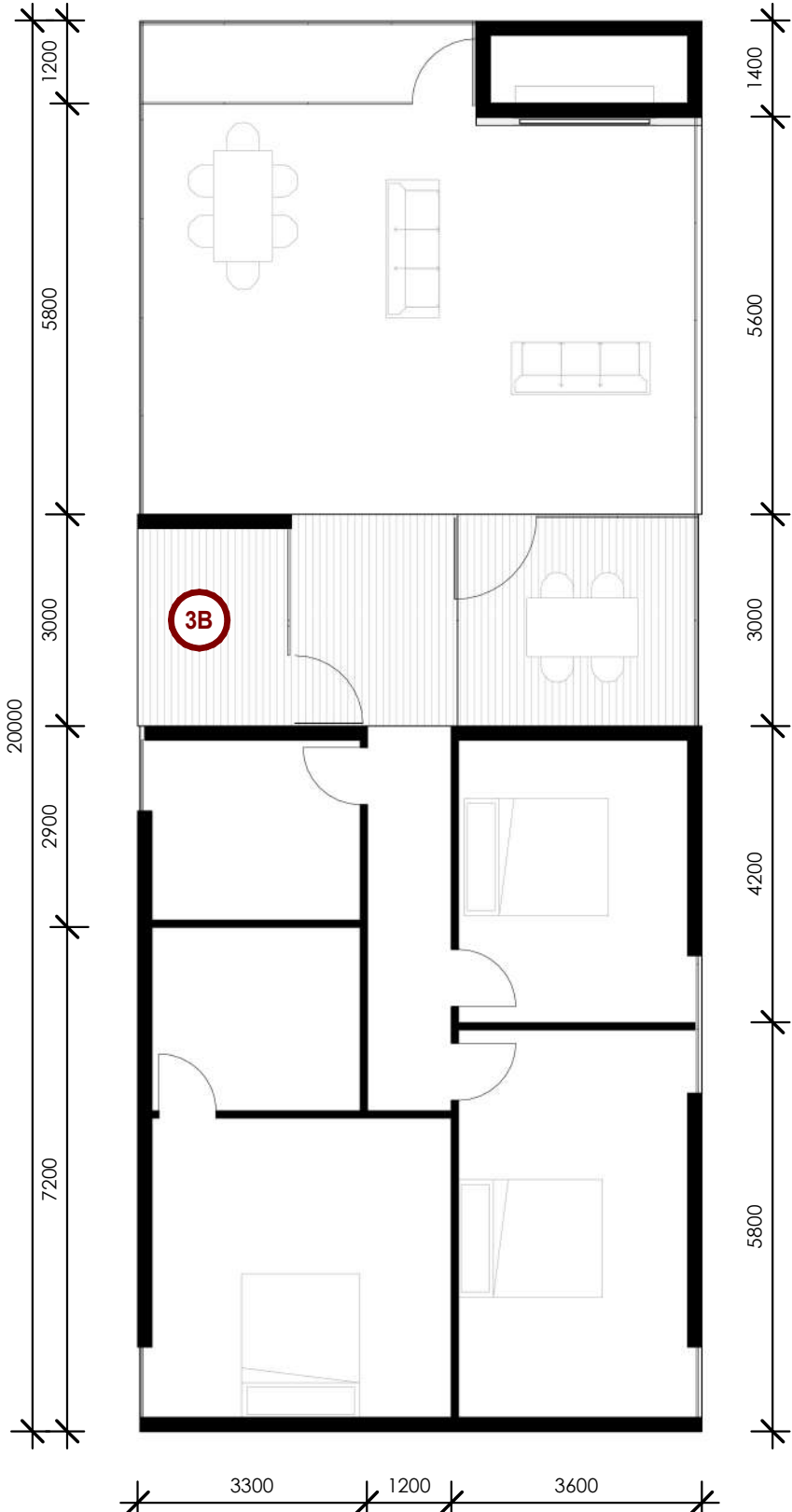
- ③A CHALET (1 BEDROOM)
- ③B CHALET (2 BEDROOM)
- ③C CHALET (3 BEDROOM)



1 | FLOOR PLAN - CHALET_1 BED
Scale: 1 : 100



2 | FLOOR PLAN - CHALET_2 BED
Scale: 1 : 100



3 | FLOOR PLAN - CHALET_3 BED
Scale: 1 : 100

Lodge , Chapel and Chalets - Design Statement

The southern end of the farm has spectacle views out to the lake and beyond to the Tongariro ranges. Between the site and the lake the peninsula is surround by the Whakarua Point Recreation Reserve with Whakaipō Bay to the east and Whangamatā Bay to the west.

The typical approach to the site is along the road traversing the peninsula. The lake and the mountains are not visible at the entry to the farm, but as you travel along the peninsula glimpses are revealed. As you journey towards the lodge it too is glimpsed and revealed gradually from afar.

Taupo Nui a Tia and Tongariro welcome you to the lodge...

3.1.1 BUILDING LAYOUT

The Lodge and the Chapel are arranged just off the top of the ridge parallel with the contours and following the curve of the local ridge line. The Lodge is arranged with the entrance in the middle, the accommodation and wellness centre to the west, and the restaurant hospitality to the east with the Chapel as a separate building further to the east.

3.1.2 BUILDING FORM

The Lodge and Chapel grow and emerge from the natural landforms. Their forms are natural and appear as an extension of the whenua. In silhouette the lodge and chapel appear to be part of the land.

3.1.3 LANDSCAPE

The Lodge layout shelters from the cold southerly winds whilst still allowing southerly views to the lake and mountains. The lodge creates sheltered outdoor areas facing north receiving warm sunshine.

There is wider site restoration planting is to re-establish the indigenous eco-system. There is also mitigation planting to reduce the visual impact of the development as viewed from surrounding.

3.2.1 BUILDING LAYOUT

The Chalets are arranged in clusters of three to create small communities and to reduce sprawling buildings over the landscape.

3.2.2 BUILDING FORM

The Chalets are simple mono-pitched roof forms – the chimney of the 3-bed chalet in particular references the early European settlers huts.

3.2.3 LANDSCAPE

The landscape around each of the Chalet clusters is to designed to be a shared amenity. There is wider site restoration planting is to re-establish the indigenous eco-system. There is also mitigation planting to reduce the visual impact of the development as viewed from surrounding.

Lodge , Chapel and Chalets - Design Statement

3.1.5 BUILDING MATERIALITY

Natural 'raw' material are selected for the building façades and access ways to reduce the visual dominance in the landscape as well as to promote the overall identity of the development.

Overall building utilities are carefully integrated into the building's form.



1. CURTAIN WALL

Dark or Naturally coloured framing (LRV 5-46%). Glazing is non reflective.



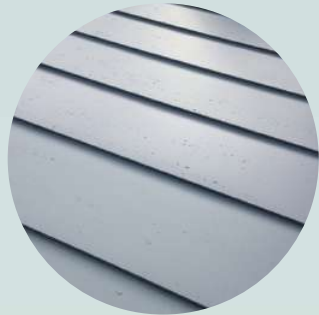
2. STONE VENEER

Natural light colour stone or solid cladding, foundations and landscape elements.



3. TIMBER RAINSCREEN

Natural light coloured or 'silver' weathered timber.



4. METAL ROOF

Dark or Naturally coloured (LRV to be 5-13%).

